

DEVELOPMENT APPLICATION

PROPOSED ALTERATIONS & ADDITIONS

AT

26 JACARANDA DRIVE, GEORGES HALL

FOR

MR & MRS FAZIL



ARCHITECTURAL DRAWING LIST

Sheet No.	Sheet Name
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02	EXISTING BASEMENT FLOOR PLAN & EXISTING GROUND FLOOR PLAN
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04	PROPOSED SITE & ROOF PLAN
05	PROPOSED BASEMENT PLAN
06	PROPOSED GROUND FLOOR PLAN
07	PROPOSED FIRST FLOOR PLAN
08	PROPOSED ROOF PLAN
09	PROPOSED NORTH ELEVATION & STREETScape ELEVATION
10	PROPOSED EAST ELEVATION
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12	PROPOSED WEST ELEVATION
13	PROPOSED POOL & CABANA PLAN, SECTIONS & ELEVATIONS
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15	PROPOSED CROSS SECTION
16	WINDOW SCHEDULE
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31	EXISTING & PROPOSED SHADOW PLANS 21ST JUNE 1PM
32	EXISTING & PROPOSED SHADOW PLANS 21ST JUNE 2PM
33	EXISTING & PROPOSED SHADOW PLANS 21ST JUNE 3PM
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35	EXISTING & PROPOSED SHADOW PLANS 21ST JUNE 5PM
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38	EXISTING & PROPOSED SHADOW PLANS 22ND MARCH/SEPTEMBER 8AM
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41	EXISTING & PROPOSED SHADOW PLANS 22ND MARCH/SEPTEMBER 11AM
42	EXISTING & PROPOSED SHADOW PLANS 22ND MARCH/SEPTEMBER 12PM
43	EXISTING & PROPOSED SHADOW PLANS 22ND MARCH/SEPTEMBER 1PM
44	EXISTING & PROPOSED SHADOW PLANS 22ND MARCH/SEPTEMBER 2PM
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46	EXISTING & PROPOSED SHADOW PLANS 22ND MARCH/SEPTEMBER 4PM
47	EXISTING & PROPOSED SHADOW PLANS 22ND MARCH/SEPTEMBER 5PM
48	EXISTING & PROPOSED SHADOW ELEVATIONS 22ND MARCH/SEPTEMBER No.24
49	EXISTING & PROPOSED SHADOW ELEVATIONS 22ND MARCH/SEPTEMBER No.28

A

DEVELOPMENT APPLICATION

08/05/2025

M.K

EJS, RO

ISSUE

AMENDMENTS

DATE

DRN

CHK

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26 JACARANDA DRIVE,
GEORGES HALL

PROJECT

PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS

DEVELOPMENT APPLICATION

DRAWING TITLE

COVER SHEET

SHEET NO: 00

ISSUE: A

SCALE: @A3

JOB NO: 888-1766

DESIGN: M.K

DRAWN: M.K

CHECKED BY: EJS, RO

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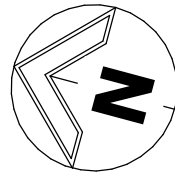
Rodolfo O'Laco: Nominated Architect NSW A.R.B. 6520.
Principal Design Practitioner: PDP0000407

PRINT DATE: 27/05/2025 11:56:02 AM

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JACARANDA DRIVE



GENERAL NOTES OF EXISTING DWELLING

- EXISTING DOUBLE BRICK WALL TO GARAGE LEVEL WITH FACE BRICK FINISH
- EXISTING BRICK VENEER WALLS TO GROUND FLOOR LEVEL WITH FACE BRICK FINISH
- EXISTING RC SLABS TO GARAGE FLOOR LEVEL
- EXISTING RC SLAB TO REAR DECK
- EXISTING TIMBER AWNING WITH ROOF SHEETING ABOVE REAR DECK
- EXISTING TIMBER FLOOR TO GROUND FLOOR LEVEL
- EXISTING TIMBER FRAME ROOF WITH ROOF TILES
- EXISTING COLORBOND ALUMINIUM GUTTERS & DOWNPIPES
- EXISTING POWDERCOATED ALUMINIUM PANEL LIFT GARAGE DOOR
- EXISTING HARDWOOD TIMBER FRONT ENTRY DOOR
- EXISTING BRICK PLANTER BOXES WITH RC SLAB TO BASE
- EXISTING ALUMINIUM POWDER COAT BALUSTRADE
- EXISTING ALUMINIUM POWDER COAT WINDOWS
- EXISTING CONCRETE & BRICK EXTERNAL STAIRS
- EXISTING RC SLAB TO POOL & POOL DECK
- EXISTING LIGHT FRAME CONSTRUCTION TO GAZEBO
- EXISTING RC SLAB TO GAZEBO
- EXISTING RC SLAB TO DRIVEWAY
- NO EXISTING TREES ON SITE
- EXISTING BRICK RETAINING WALLS TO SIDE SETBACK OF GARAGE



EXISTING SITE & ROOF PLAN

1 : 200

EXISTING STREET PHOTO

A	DEVELOPMENT APPLICATION	08/05/2025	M.K	EJS, RO
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PROJECT
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PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
EXISTING SITE & ROOF PLAN

SHEET NO: 01 ISSUE: A
SCALE: As indicated@A3 JOB NO: 888-1766
DESIGN: M.K DRAWN: M.K CHECKED BY: EJS, RO

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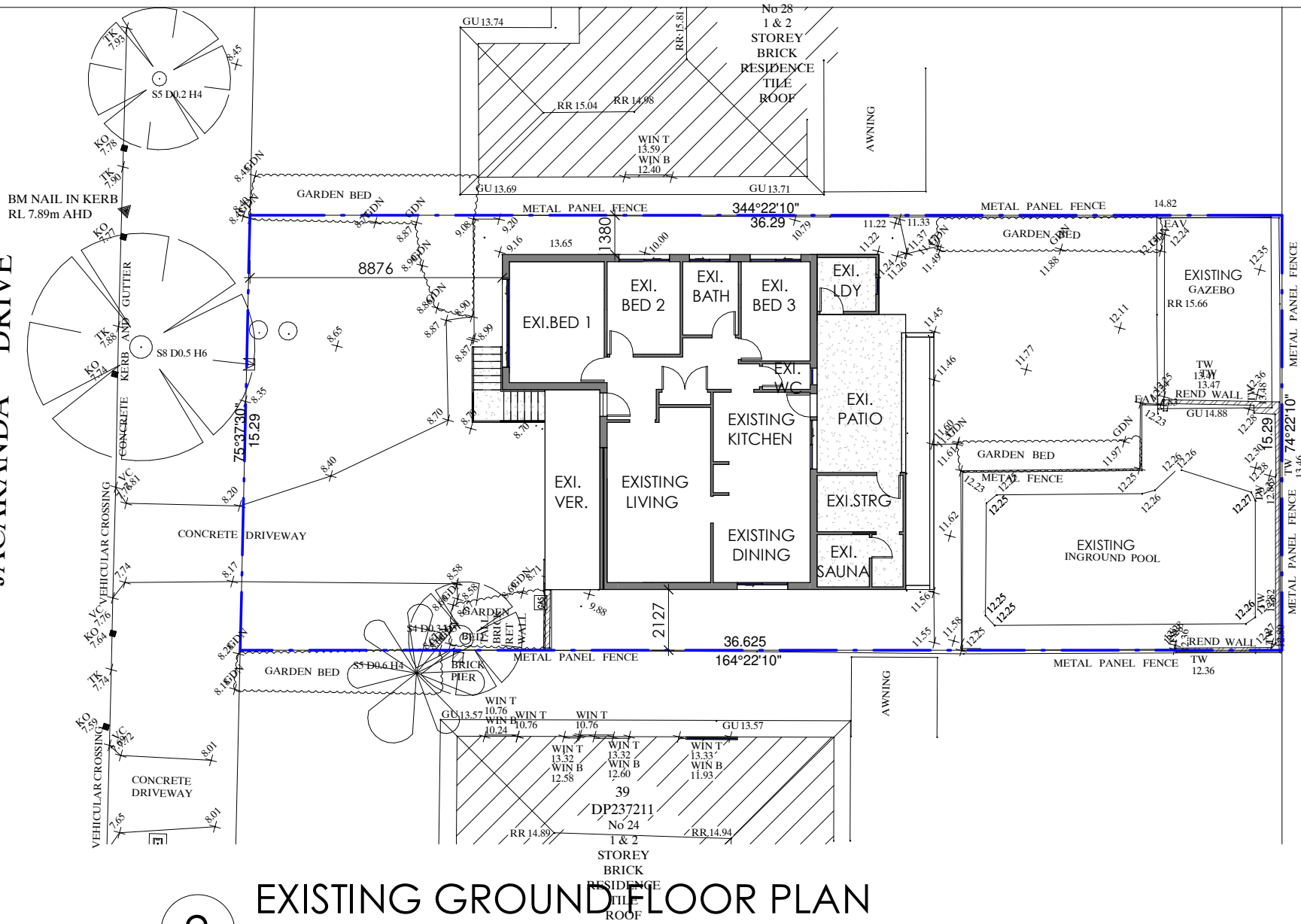
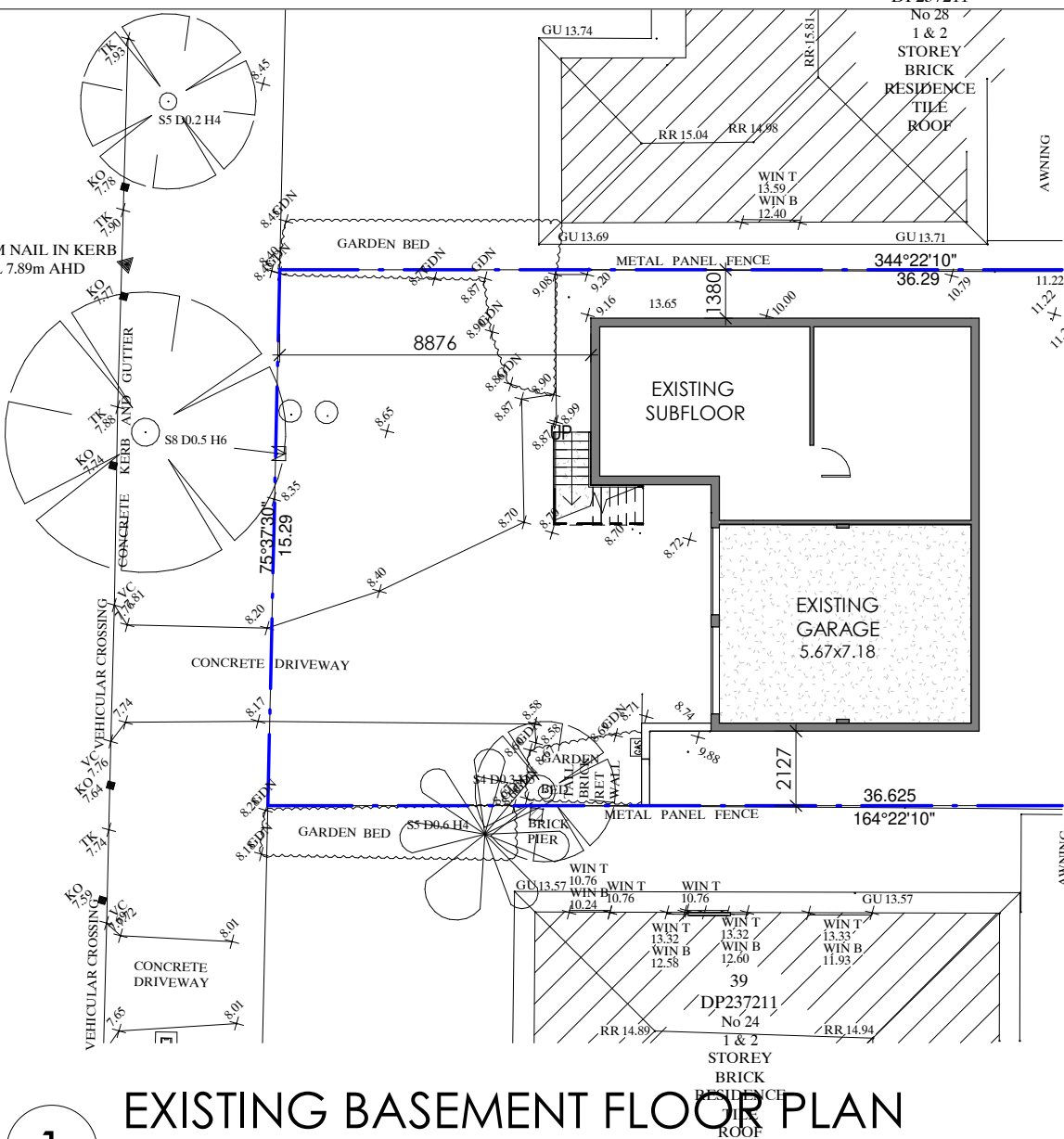


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Principal Design Practitioner: PDP0000407

JACARANDA DRIVE

JACARANDA DRIVE



EXISTING BASEMENT FLOOR PLAN

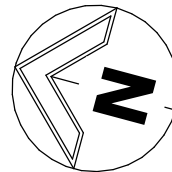
EXISTING GROUND FLOOR PLAN

GENERAL NOTES OF EXISTING DWELLING

- EXISTING DOUBLE BRICK WALL TO GARAGE LEVEL
- EXISTING BRICK VENEER WALLS TO GROUND FLOOR LEVEL WITH FACE BRICK FINISH
- EXISTING RC SLABS TO GARAGE FLOOR LEVEL
- EXISTING RC SLAB TO REAR DECK
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- EXISTING RC SLAB TO GAZEBO
- EXISTING RC SLAB TO DRIVEWAY
- NO EXISTING TREES ON SITE
- EXISTING BRICK RETAINING WALLS TO SIDE SETBACK OF GARAGE

EXISTING - SITE CALCULATIONS

ZONE	R2
SITE AREA - BY TITLE	556.4m ²
SITE AREA - BY CALCULATION	557.4m ²
FLOOR AREA	
EXISTING DWELLING	113.21m ²
BASEMENT FLOOR AREA	40.71m ²
OUTBUILDINGS	24.28m ²
EXISTING FSR	0.20:1 RATIO
SITE COVERAGE	
DWELLING FOOTPRINT AREA	124.06m ²
GAZEBO FOOTPRINT AREA	24.28m ²
POOL AREA	44.88m ²
HARDBAVED AREA	162.07m ²
LANDSCAPE AREA	202.11m ²



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DRAWING TITLE
EXISTING BASEMENT FLOOR PLAN & EXISTING
GROUND FLOOR PLAN

SHEET NO: 02 ISSUE: A

SCALE: As indicated@A3 JOB NO: 888-1766

DESIGN: M.K. DRAWN: M.K. CHECKED BY: EJS, RO

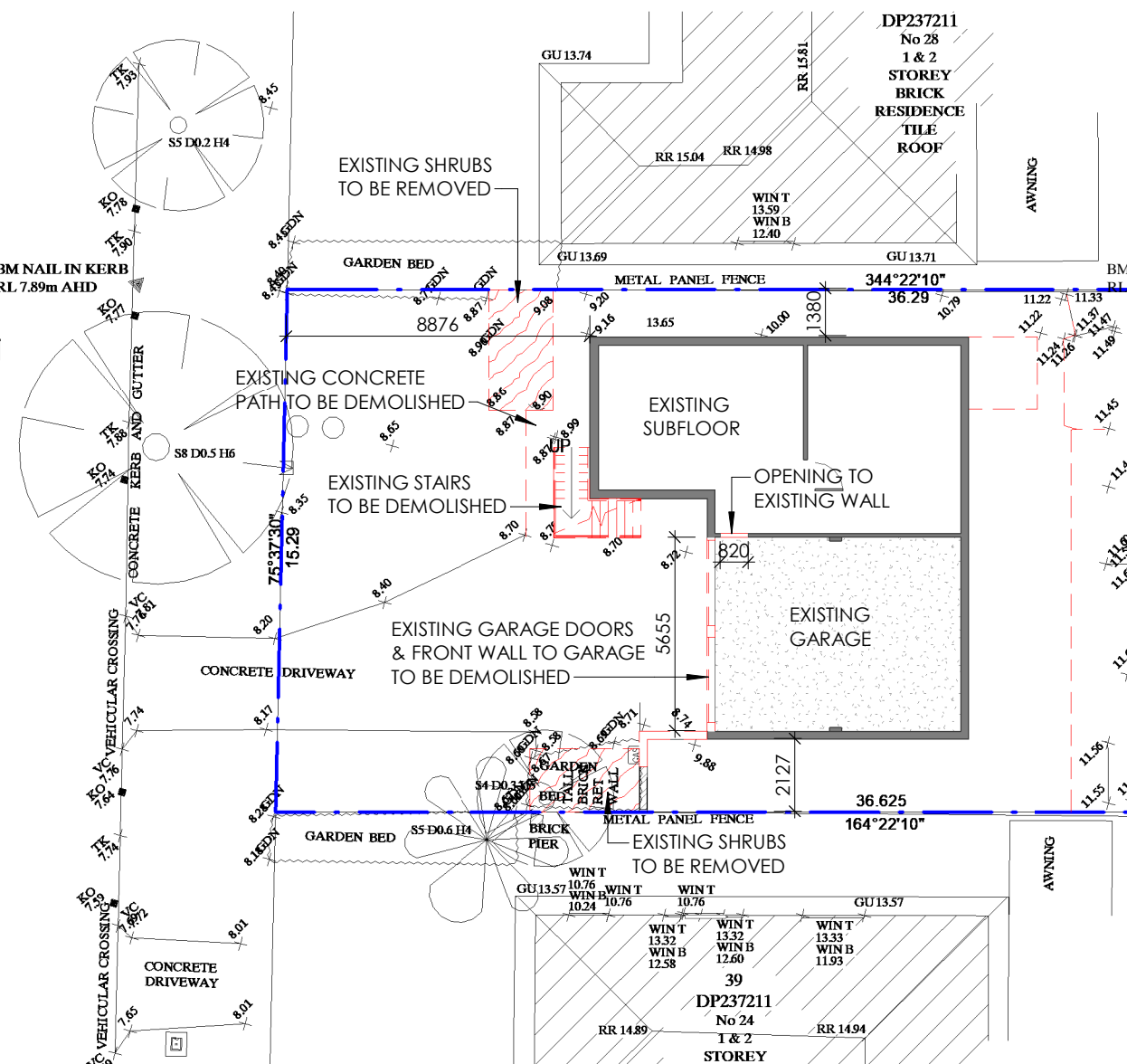
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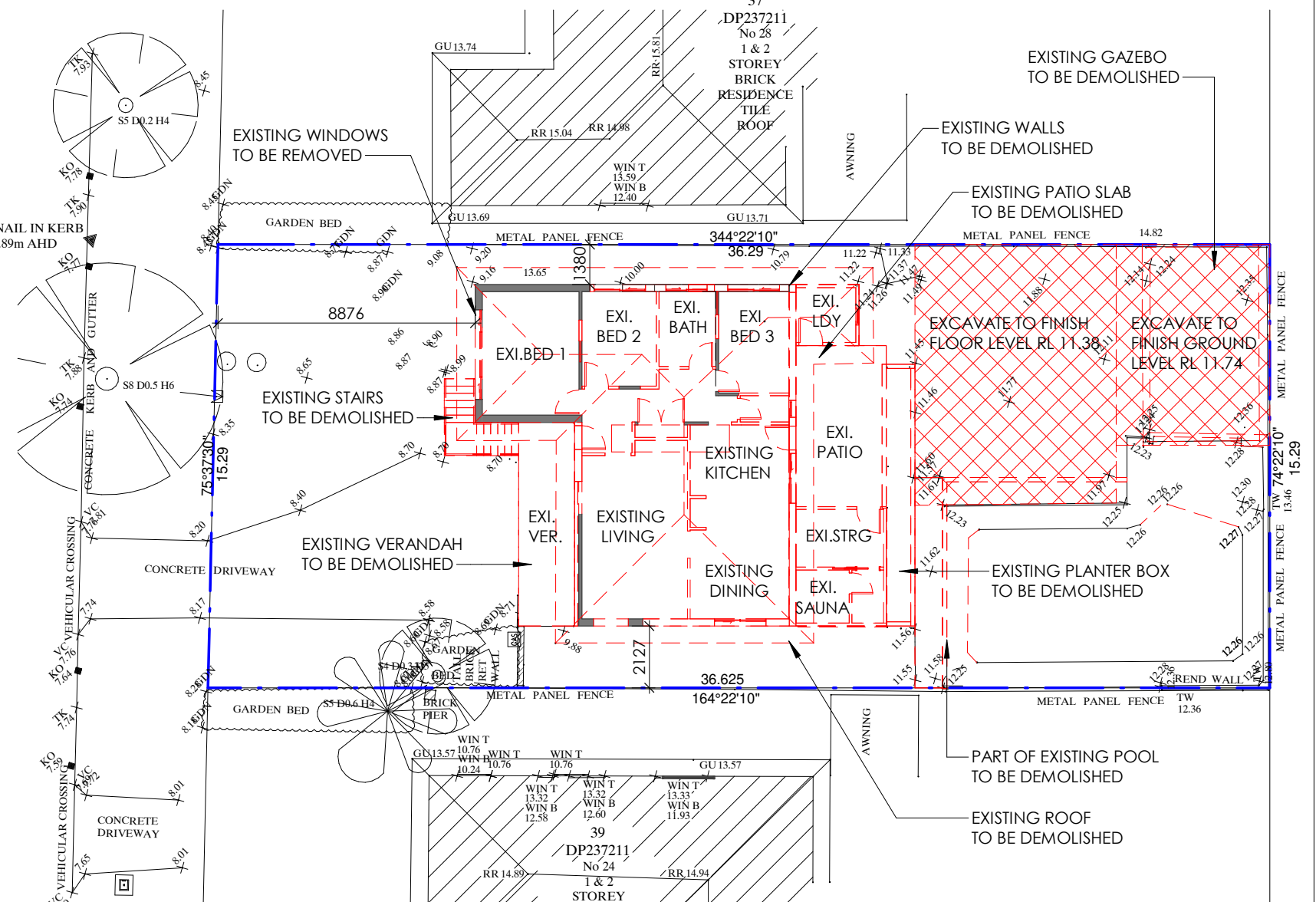
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1

PROPOSED BASEMENT FLOOR DEMOLITION PLAN

1 : 200



2

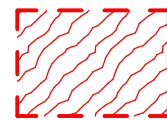
PROPOSED GROUND FLOOR DEMOLITION PLAN

1 : 200

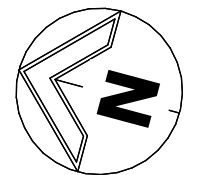
DEMOLITION LEGEND



EXISTING LAND TO BE EXCAVATED

REMOVE EXISTING GARDEN SHRUBS
AND PLANTINGEXISTING STRUCTURES TO BE
DEMOLISHED

EXISTING STRUCTURE TO REMAIN



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GEORGES HALLPROJECT
PROPOSED ALTERATIONS &
ADDITIONSPROJECT STATUS
DEVELOPMENT APPLICATIONDRAWING TITLE
PROPOSED DEMOLITION PLAN

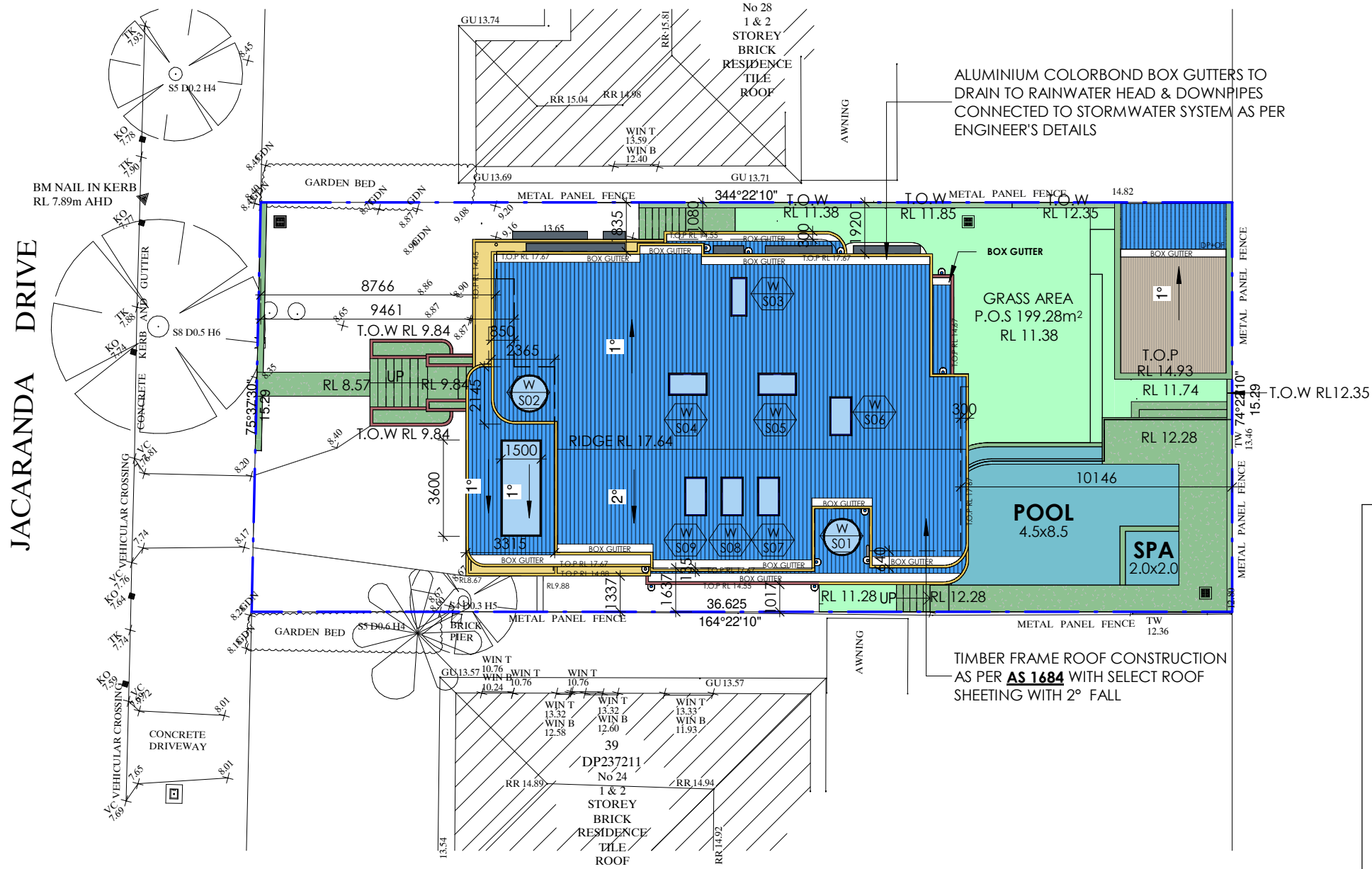
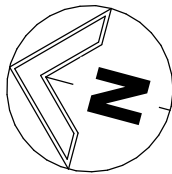
SHEET NO:	03	ISSUE:	A
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PROPOSED SITE & ROOF PLAN

1

1 : 200

SITE CALCULATIONS

ALTERATIONS & ADDITIONS

ZONE	R2
SITE AREA - BY TITLE	556.4m²
SITE AREA - BY CALCULATION	557.4m²
FLOOR AREA	
EXISTING GROUND FLOOR AREA	94.25m²
EXISTING GROUND FLOOR TO REMAIN	92.95m²
PROPOSED GROUND FLOOR	59.39m²
PROPOSED CABANA WC	1.94m²
PROPOSED FIRST FLOOR	123.53m²
TOTAL PROPOSED AREA	277.81m²
TOTAL FSR	0.5:1 RATIO
MAX PERMISSIBLE	0.5:1 RATIO
SITE COVERAGE - BY SITE CALCULATION	
PROPOSED DWELLING FOOTPRINT	200.53m²
CABANA FOOTPRINT	29.07m²
TOTAL DWELLING & CABANA FOOTPRINT	41.24%
POOL	42.40m²
DEEP SOIL AREA	167.06m²
DEEP SOIL %	29.97%
HARD PAVED	118.34m²

GENERAL NOTES

- R.C SLAB TO NEW FLOORS ON BASEMENT LEVEL & GROUND FLOOR LEVEL AS PER ENGINEERS DETAILS
- DOUBLE BRICK CONSTRUCTION WITH SELECT FINISH TO NEW WALLS ON GROUND FLOOR LEVEL
- RC SLABS, FOOTINGS, BEAMS, COLUMNS & STAIRS TO ENGINEER'S DETAILS
- TIMBER FRAME CONSTRUCTION AS PER LIGHT TIMBER FRAME CODE TO FLOOR ON FIRST FLOOR LEVEL AS PER ENGINEERS DETAILS
- TIMBER FRAME STUD WALLS AS PER LIGHT TIMBER FRAME CODE WITH SELECT F.C WALL SHEETING TO FIRST FLOOR LEVEL WALLS
- TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT ROOF SHEETING AT 1 DEG. FALL
- COLORBOND ALUMINIUM BOX GUTTERS, FASCIAS AND DOWNPIPES
- POWDERCOATED ALUMINIUM WINDOW AND DOOR ASSEMBLIES - REFER TO SCHEDULES & BASIX CERTIFICATE
- NEW POWDERCOATED ALUMINIUM PANEL LIFT GARAGE DOOR
- SELECTED ALUMINIUM PIVOT FRONT ENTRY DOOR
- PLANTERBOXES WITH ADEQUATE WATERPROOFING AND DRAINAGE
- SELECTED 1000mm HIGH BALUSTRADING
- REFER TO BASIX FOR WATER, ENERGY AND THERMAL COMFORT COMMITMENTS
- REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR STORMWATER MANAGEMENT DETAILS
- REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE DETAILS

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DRAWING TITLE
PROPOSED SITE & ROOF PLAN

SHEET NO: 04 ISSUE: A
SCALE: As indicated@A3 JOB NO: 888-1766
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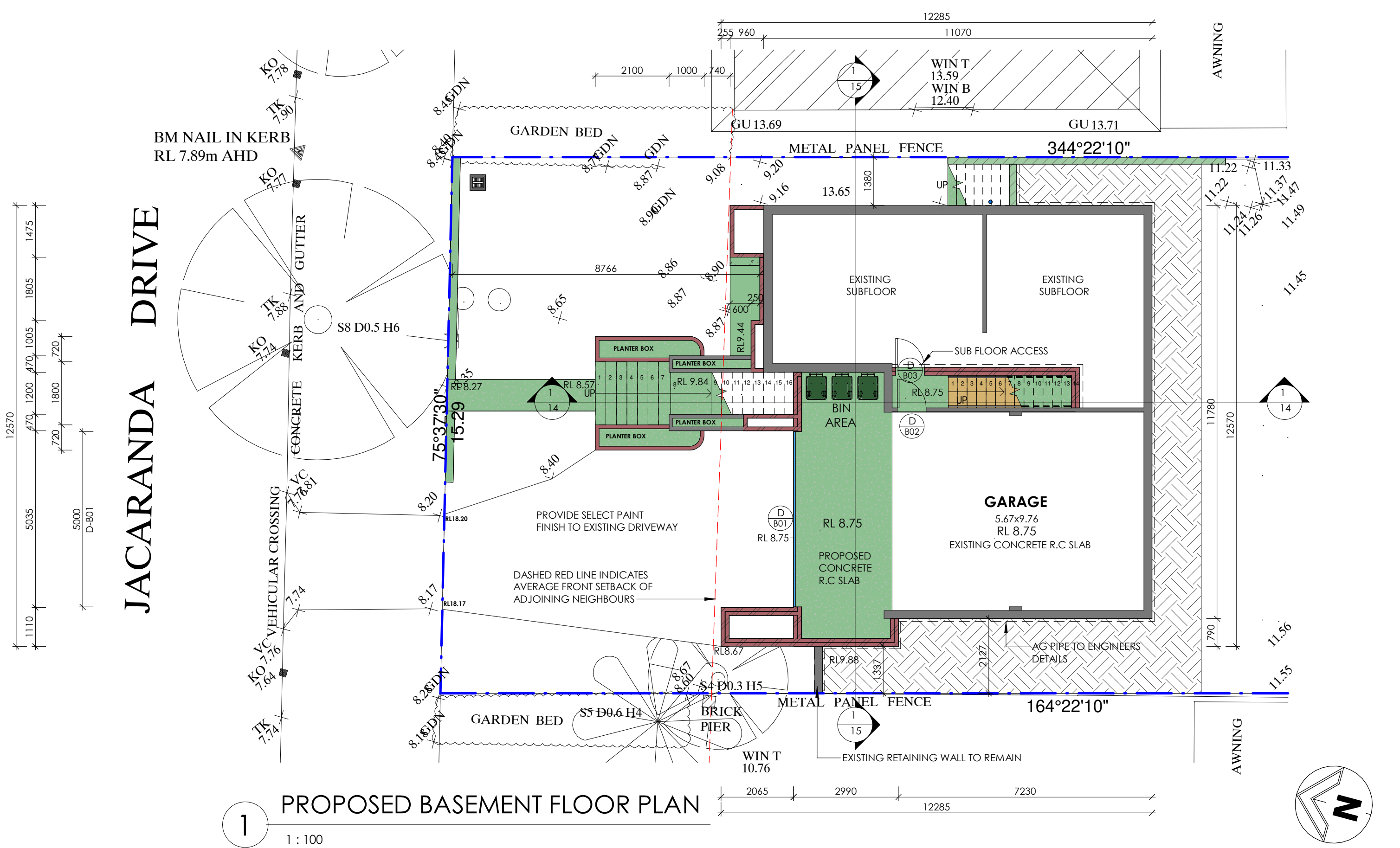
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ISSUE	AMENDMENTS	DATE	DRN	CHK

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PROJECT
PROPOSED ALTERATIONS & ADDITIONS

DRAWING TITLE
PROPOSED BASEMENT PLAN

SHEET NO: 05ISSUE: A

SCALE: 1 : 100@A3JOB NO: 888-1766

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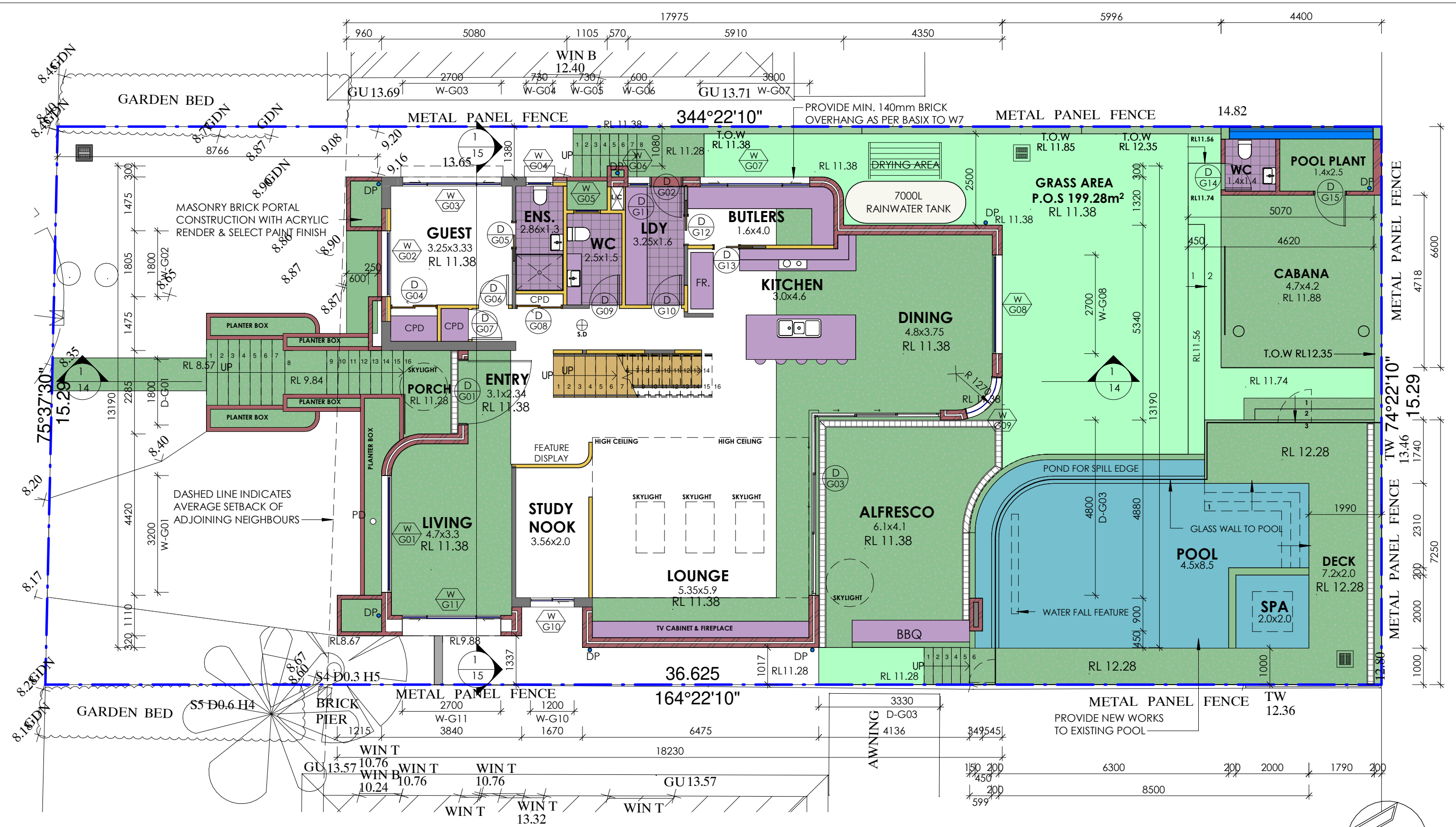
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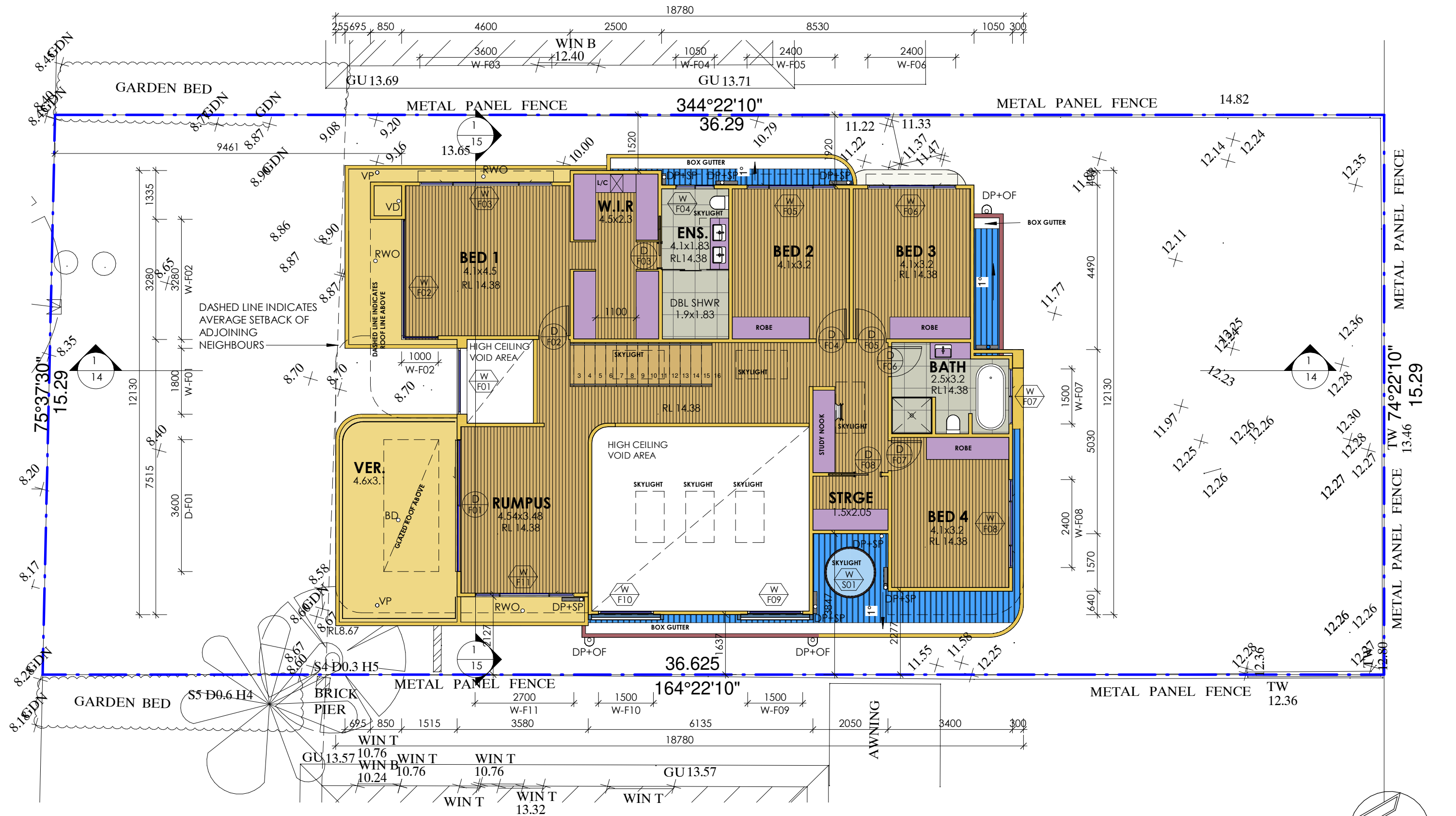
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1 PROPOSED GROUND FLOOR PLAN

1 : 100

<div><div>A</div><div>DEVELOPMENT APPLICATION</div><div>08/05/2025</div><div>M.K</div><div>EJS, RO</div></div> <div><div>ISSUE</div><div>AMENDMENTS</div><div>DATE</div><div>DRN</div><div>CHK</div></div>					<div>CLIENT</div> <div>MR & MRS FAZIL</div> <div>ADDRESS</div> <div>26 JACARANDA DRIVE,</div> <div>GEORGES HALL</div>	<div>PROJECT</div> <div>PROPOSED ALTERATIONS & ADDITIONS</div> <div>PROJECT STATUS</div> <div>DEVELOPMENT APPLICATION</div>	<div>DRAWING TITLE</div> <div>PROPOSED GROUND FLOOR PLAN</div> <div>SHEET NO: 06</div> <div>ISSUE: A</div> <div>SCALE: 1 : 100@A3</div> <div>JOB NO: 888-1766</div> <div>DESIGN: M.K</div> <div>DRAWN: M.K</div> <div>CHECKED BY: EJS, RO</div>	<div><div>DS407</div><div>DESIGN STUDIO</div></div> <div><div>PO Box 141 Earlwood NSW 2206.</div><div>admin@designstudio407.com.au</div><div>www.designstudio407.com.au</div></div> <div><div>T (02) 9558 8944</div><div>F (02) 9558 9765</div></div> <div><div>Rodolfo O'Laco: Nominated Architect NSW A.R.B. 6520.</div><div>Principal Design Practitioner: PDP0000407</div></div>
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PROPOSED FIRST FLOOR PLAN

1

1 : 100

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DRAWING TITLE
PROPOSED FIRST FLOOR PLAN

SHEET NO: 07
SCALE: 1 : 100@A3
DESIGN: M.K
ISSUE: A
JOB NO: 888-1766
DRAWN: M.K
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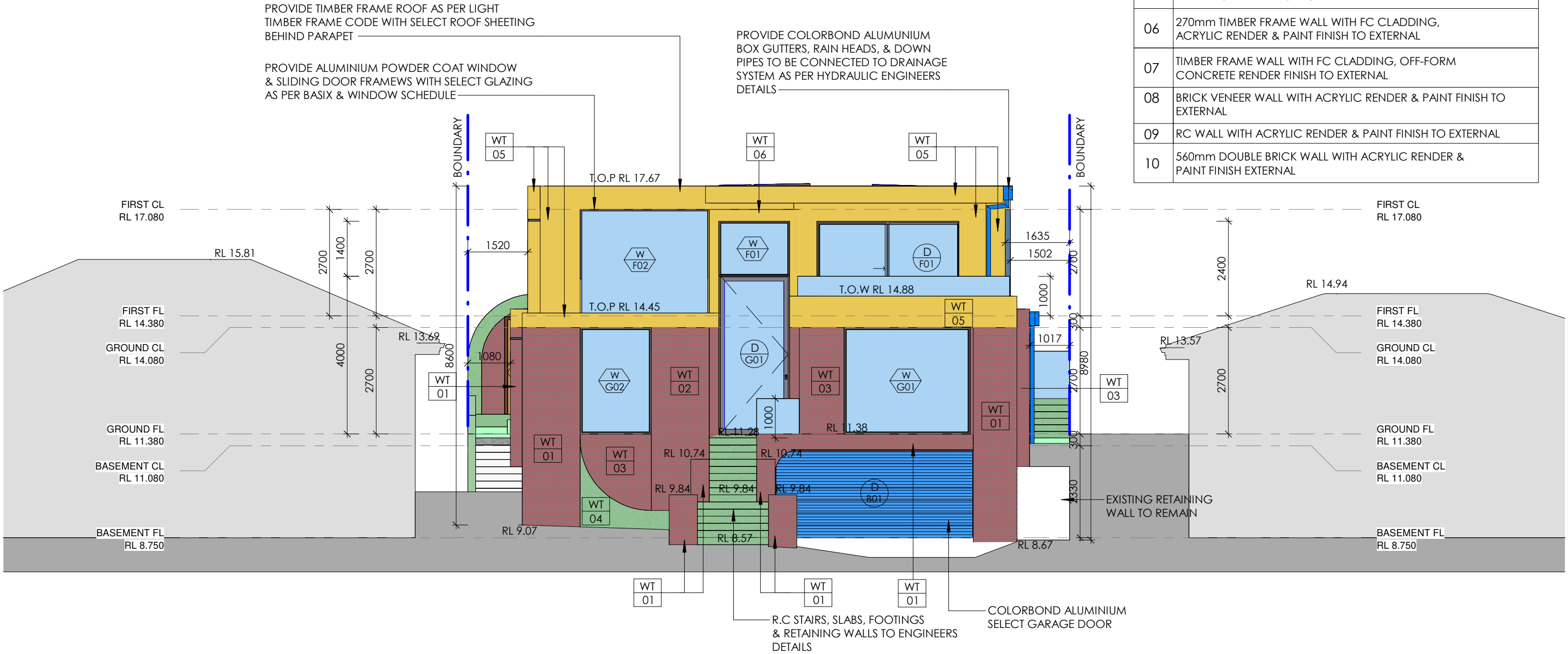


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LEGEND - WALL TYPE & WALL FINISH

WT	DESCRIPTION
01	110mm SINGLE SKIN BRICK WITH RENDER & PAINT FINISH TO EXTERNAL
02	110mm SINGLE SKIN BRICK WITH OFF-FORM CONCRETE RENDER FINISH TO EXTERNAL
03	270mm DOUBLE BRICK WITH FACE BRICK FINISH TO EXTERNAL
04	INSITU RC WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
05	TIMBER FRAME WALL WITH FC CLADDING, ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
06	270mm TIMBER FRAME WALL WITH FC CLADDING, ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
07	TIMBER FRAME WALL WITH FC CLADDING, OFF-FORM CONCRETE RENDER FINISH TO EXTERNAL
08	BRICK VENEER WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
09	RC WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
10	560mm DOUBLE BRICK WALL WITH ACRYLIC RENDER & PAINT FINISH EXTERNAL



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DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED NORTH ELEVATION & STREETSCAPE
ELEVATION

SHEET NO: 09 ISSUE: A

SCALE: 1 : 100@A3 JOB NO: 888-1766

DESIGN: M.K DRAWN: M.K CHECKED BY: EJS, RO



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Principal Design Practitioner: PDP0000407

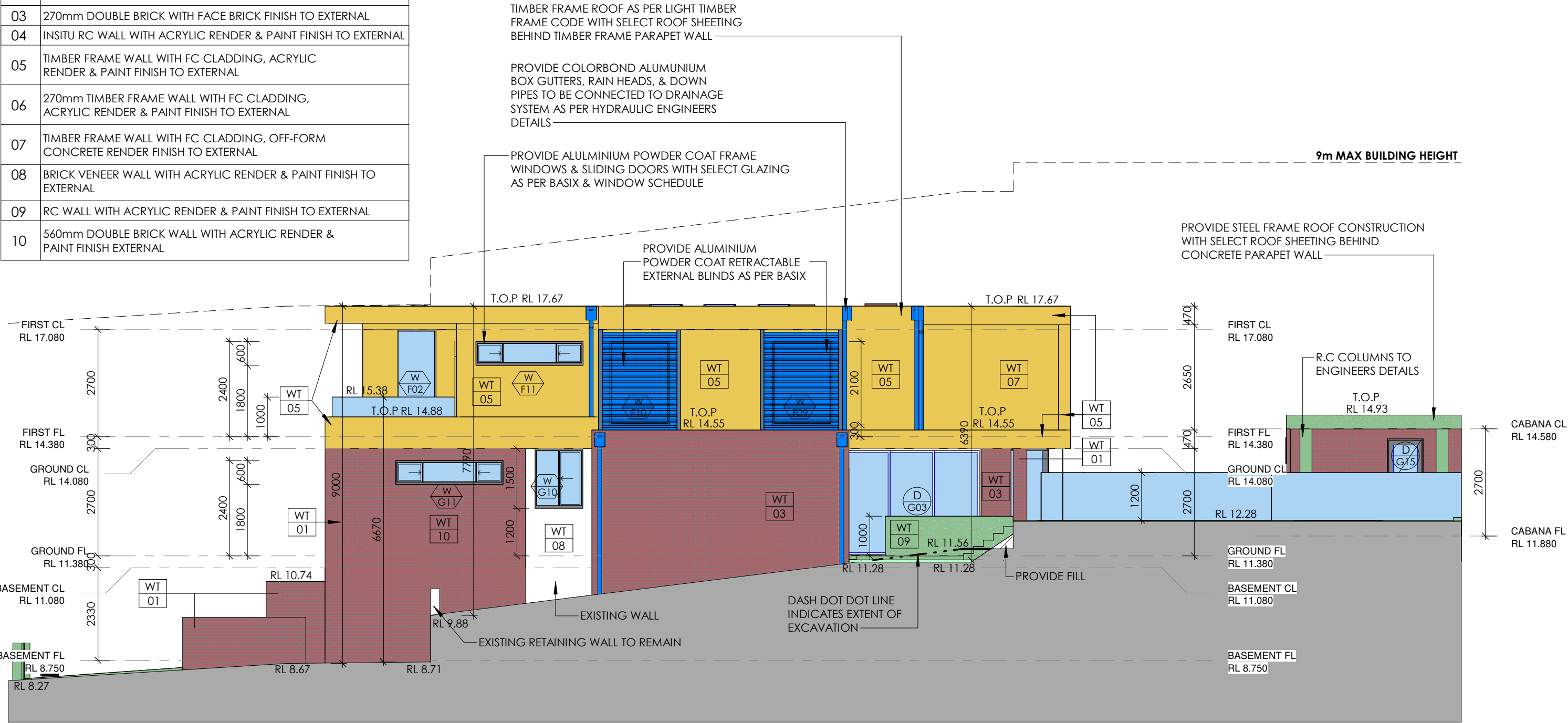
WT	DESCRIPTION
01	110mm SINGLE SKIN BRICK WITH RENDER & PAINT FINISH TO EXTERNAL
02	110mm SINGLE SKIN BRICK WITH OFF-FORM CONCRETE RENDER FINISH TO EXTERNAL
03	270mm DOUBLE BRICK WITH FACE BRICK FINISH TO EXTERNAL
04	INSITU RC WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
05	TIMBER FRAME WALL WITH FC CLADDING, ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
06	270mm TIMBER FRAME WALL WITH FC CLADDING, ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
07	TIMBER FRAME WALL WITH FC CLADDING, OFF-FORM CONCRETE RENDER FINISH TO EXTERNAL
08	BRICK VENEER WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
09	RC WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
10	560mm DOUBLE BRICK WALL WITH ACRYLIC RENDER & PAINT FINISH EXTERNAL



Rodolfo O'Laco: Nominated Architect NSW A.R.B. 652
Principal Design Practitioner: PDP0000407

LEGEND - WALL TYPE & WALL FINISH

WT	DESCRIPTION
01	110mm SINGLE SKIN BRICK WITH RENDER & PAINT FINISH TO EXTERNAL
02	110mm SINGLE SKIN BRICK WITH OFF-FORM CONCRETE RENDER FINISH TO EXTERNAL
03	270mm DOUBLE BRICK WITH FACE BRICK FINISH TO EXTERNAL
04	INSITU RC WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
05	TIMBER FRAME WALL WITH FC CLADDING, ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
06	270mm TIMBER FRAME WALL WITH FC CLADDING, ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
07	TIMBER FRAME WALL WITH FC CLADDING, OFF-FORM CONCRETE RENDER FINISH TO EXTERNAL
08	BRICK VENEER WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
09	RC WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
10	560mm DOUBLE BRICK WALL WITH ACRYLIC RENDER & PAINT FINISH EXTERNAL



1 PROPOSED WEST ELEVATION
1 : 100

A	DEVELOPMENT APPLICATION	08/05/2025	M.K	EJS, RO
ISSUE	AMENDMENTS	DATE	DRN	CHK

CLIENT
MR & MRS FAZIL

ADDRESS
26 JACARANDA DRIVE,
GEORGES HALL

PROJECT
PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED WEST ELEVATION

SHEET NO:	12	ISSUE:	A
SCALE:	1 : 100@A3	JOB NO:	888-1766
DESIGN:	M.K	DRAWN:	M.K
CHECKED BY:	EJS, RO		



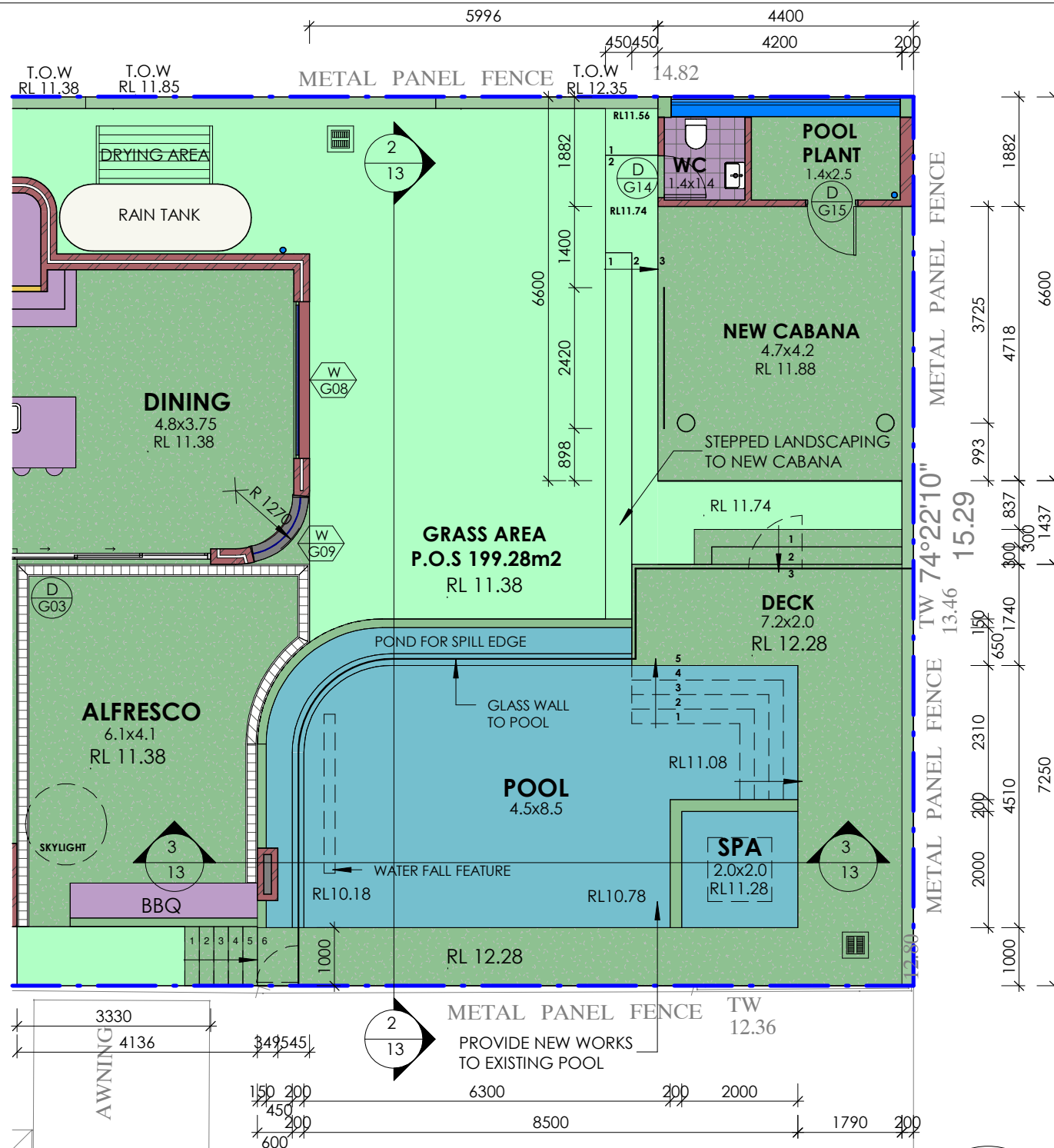
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PROPOSED POOL & CABANA PLAN

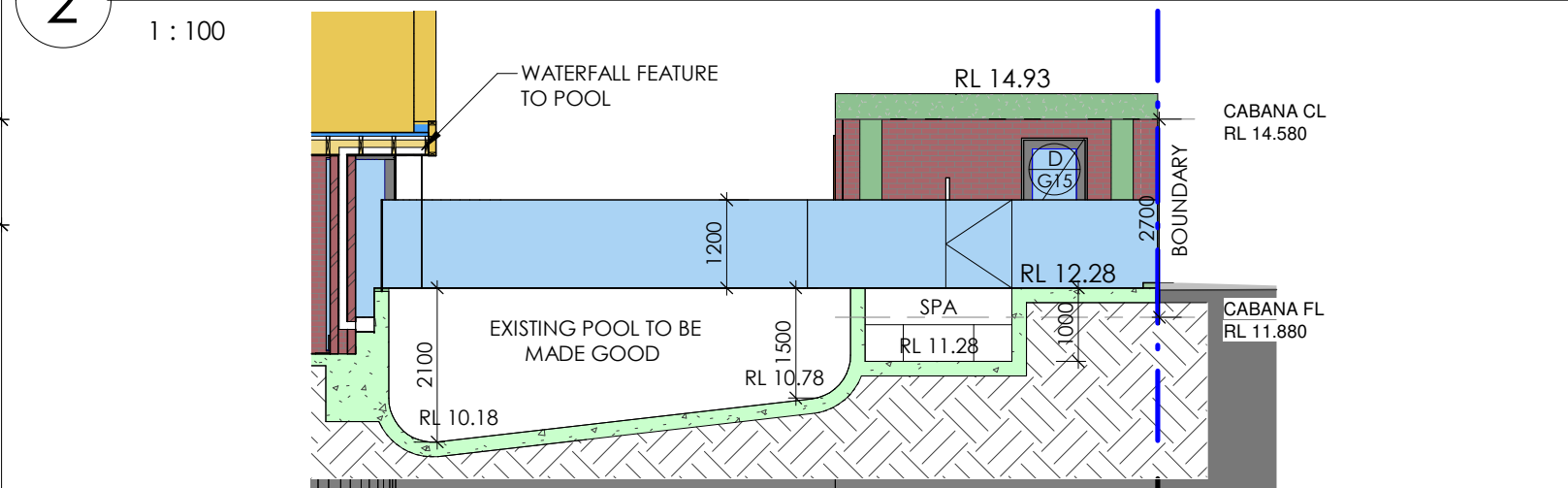
1 : 100

POOL NOTES

- POOL FENCES & GATES TO BE IN ACCORDANCE WITH AUSTRALIA STANDARD AS 1926.1-2012 'SAFETY BARRIERS FOR SWIMMING POOLS'
- MAKE GOOD TO EXISTING POOL STRUCTURE
- R.C SLAB TO ENGINEERS DETAILS
- MIN. 1200mm HIGH POOL FENCE WITH 1500mm HIGH CHILD SAFETY LATCH TO ALL POOL GATES
- PROVIDE SELECT NON SLIP FLOOR FINISH TO POOL DECK
- PROVIDE WATER FEATURE TO FURTHER DETAIL
- PROVIDE DRAINAGE TO POOL DECK AS PER ENGINEERS DETAILS
- PROVIDE MAX 200mm DEEP SPILL EDGE POND TO COMPLY WITH B.C.A & AUSTRALIAN STANDARDS

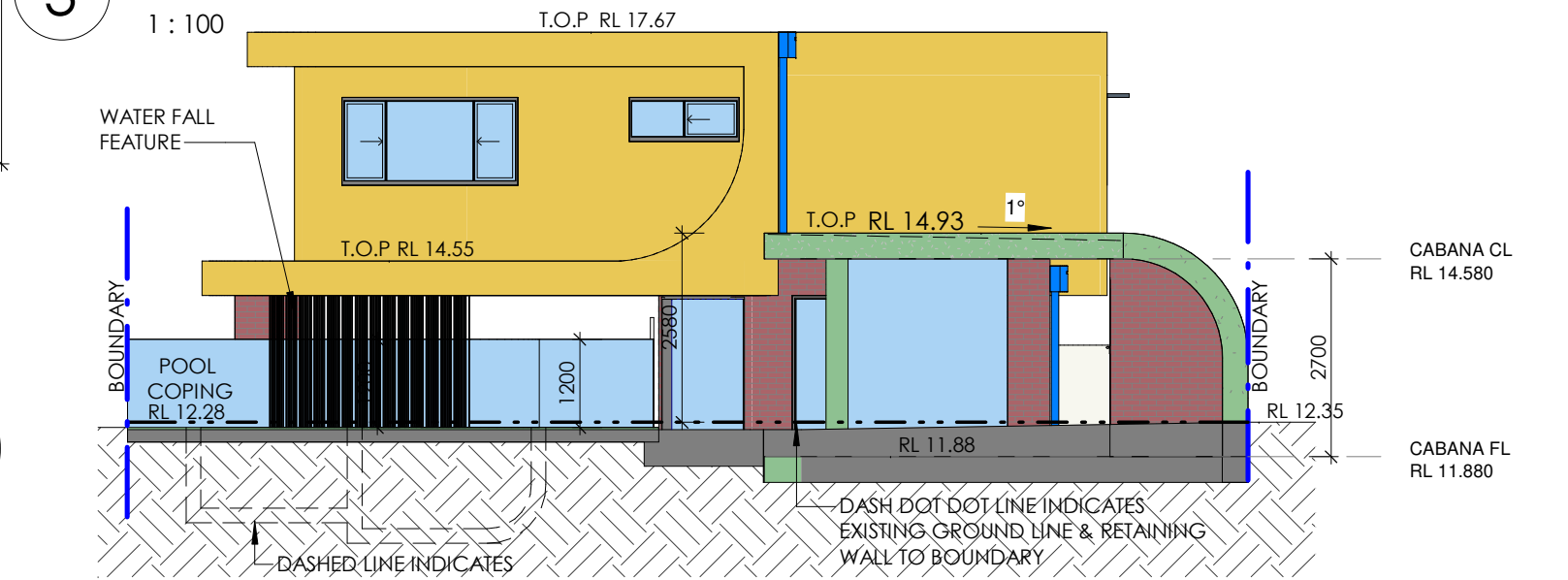
PROPOSED CABANA NORTH ELEVATION & POOL SECTION

2 : 100



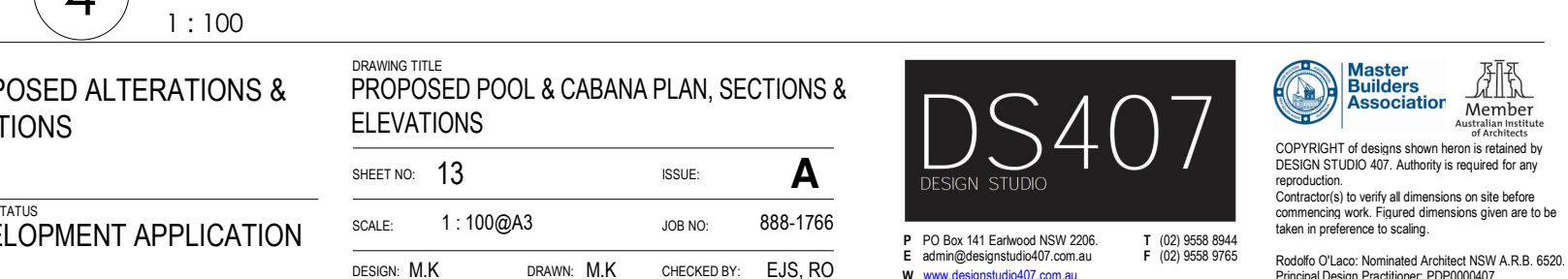
PRO. CABANA EAST ELE. & POOL LONGITUDINAL SECTION

3 : 100



PROPOSED CABANA SOUTH ELEVATION

4 : 100



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PROJECT
PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED POOL & CABANA PLAN, SECTIONS &
ELEVATIONS

SHEET NO: 13 ISSUE: A
SCALE: 1 : 100@A3 JOB NO: 888-1766
DESIGN: M.K. DRAWN: M.K. CHECKED BY: EJS, RO

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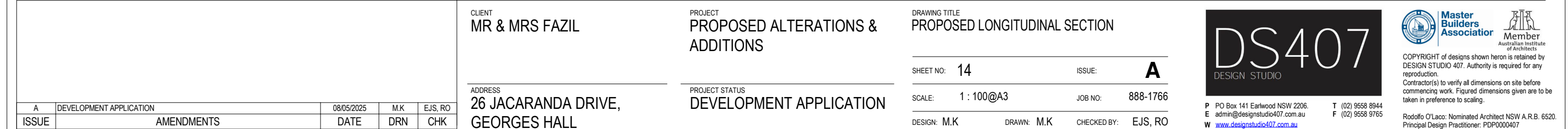
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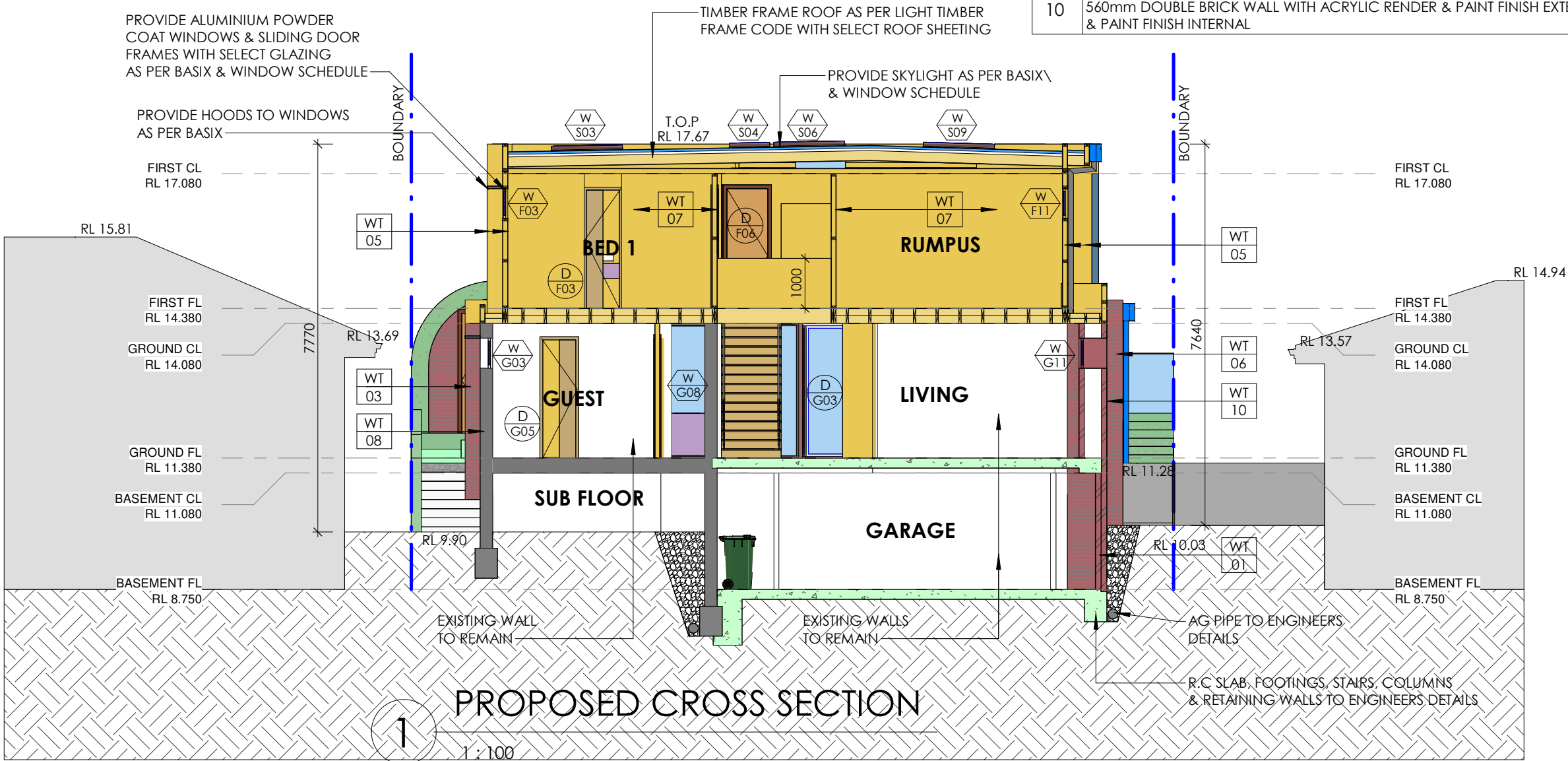
Rodolfo O'Laco: Nominated Architect NSW A.R.B. 6520.
Principal Design Practitioner: PDP0000407

WT	DESCRIPTION
01	230mm SINGLE SKIN BRICK WITH RENDER & PAINT FINISH TO INTERNAL & EXTERNAL
02	110mm SINGLE SKIN BRICK WITH OFF-FORM CONCRETE RENDER FINISH TO EXTERNAL
03	270mm DOUBLE BRICK WITH FACE BRICK FINISH TO EXTERNAL, ACRYLIC RENDER WITH PAINT FINISH TO INTERNAL
04	INSITU RC WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL
05	TIMBER FRAME WALL WITH FC CLADDING, ACRYLIC RENDER & PAINT FINISH TO EXTERNAL, PLASTERBOARD & PAINT FINISH TO INTERNAL
06	270mm TIMBER FRAME WALL WITH FC CLADDING, ACRYLIC RENDER & PAINT FINISH TO EXTERNAL & PLASTERBOARD WALL LINING TO INTERNAL WITH PAINT FINISH
07	TIMBER FRAME CONSTRUCTION WITH PLASTERBOARD & PAINT FINISH
08	BRICK VENEER WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL, PLASTERBOARD WITH PAINT FINISH TO INTERNAL
09	110mm SINGLE SKIN BRICK WITH ACRYLIC RENDER & PAINT FINISH
10	560mm DOUBLE BRICK WALL WITH ACRYLIC RENDER & PAINT FINISH EXTERNAL & PLASTERBOARD & PAINT FINISH INTERNAL



LEGEND - WALL TYPE & WALL FINISH

WT	DESCRIPTION
01	230mm SINGLE SKIN BRICK WITH RENDER & PAINT FINISH TO INTERNAL & EXTERNAL
02	110mm SINGLE SKIN BRICK WITH OFF-FORM CONCRETE RENDER FINISH TO EXTERNAL
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07	TIMBER FRAME CONSTRUCTION WITH PLASTERBOARD & PAINT FINISH
08	BRICK VENEER WALL WITH ACRYLIC RENDER & PAINT FINISH TO EXTERNAL, PLASTERBOARD WITH PAINT FINISH TO INTERNAL
09	110mm SINGLE SKIN BRICK WITH ACRYLIC RENDER & PAINT FINISH
10	560mm DOUBLE BRICK WALL WITH ACRYLIC RENDER & PAINT FINISH EXTERNAL & PLASTERBOARD & PAINT FINISH INTERNAL



A	DEVELOPMENT APPLICATION	08/05/2025	M.K	EJS, RO
ISSUE	AMENDMENTS	DATE	DRN	CHK

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MR & MRS FAZIL

ADDRESS
26 JACARANDA DRIVE,
GEORGES HALL

PROJECT
PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED CROSS SECTION

SHEET NO:	15	ISSUE:	A
SCALE:	1 : 100@A3	JOB NO:	888-1766
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Principal Design Practitioner: PDP0000407

WINDOW SCHEDULE							
Level	Mark	Height	Width	Window Area	Head Height	Description	Basix Requirments
GROUND FL	G09	2700	1270	3.43		ALUMINIUM FRAME - FIXED GLAZING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G01	2700	3200	8.64	2700	ALUMINIUM FRAME - FIXED GLAZING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G02	2700	1800	4.86	2700	ALUMINIUM FRAME - FIXED GLAZING	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 7.63, SHGC: 0.47)
GROUND FL	G03	600	2700	1.62	2400	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G04	1200	730	0.88	2400	ALUMINIUM FRAME - AWNING	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47)
GROUND FL	G05	1200	730	0.88	2400	ALUMINIUM FRAME - AWNING - OBSCURE GLAZING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G06	1200	600	0.72	2400	ALUMINIUM FRAME - AWNING - OBSCURE GLAZING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G07	600	3000	1.80	1600	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47)
GROUND FL	G08	2700	2700	7.29	2700	ALUMINIUM FRAME - FIXED GLAZING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G10	1500	1200	1.80	2700	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G11	600	2700	1.62	2400	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND CL	S01	1800	1800	3.24		Powdercoated Alum. Frame Skylight	
FIRST FL	F01	1400	1800x3280	11.56	2400	ALUMINIUM FRAME - FIXED GLAZING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
FIRST FL	F02	2700	1000	2.70	2700	ALUMINIUM FRAME - FIXED GLAZING	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47)
FIRST FL	F03	600	3600	2.16	2400	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
FIRST FL	F04	1200	1050	1.26	2400	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47)
FIRST FL	F05	1200	2400	2.88	2400	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47)
FIRST FL	F06	1200	2400	2.88	2400	ALUMINIUM FRAME - SLIDING - OBSCURE GLAZING	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47)
FIRST FL	F07	600	1500	0.90	2400	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
FIRST FL	F08	1200	2400	2.88	2400	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
FIRST FL	F09	2100	1500	3.15	2400	ALUMINIUM FRAME - FIXED GLAZING - OBSCURE GLAZING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
FIRST FL	F10	2100	1500	3.15	2400	ALUMINIUM FRAME - FIXED GLAZING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
FIRST FL	F11	600	2700	1.62	2400	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
FIRST CL	S02	1800	1800	3.24		Powdercoated Alum. Frame Skylight	
FIRST CL	S03	1400	550	0.77		Powdercoated Alum. Frame Skylight	Low-E Internal/Argon Fill/Clear External, (or U-Value: 2.9, SHGC: 0.456)
FIRST CL	S04	780	1400	1.09		Powdercoated Alum. Frame Skylight	Low-E Internal/Argon Fill/Clear External, (or U-Value: 2.9, SHGC: 0.456)
FIRST CL	S05	780	1400	1.09		Powdercoated Alum. Frame Skylight	Low-E Internal/Argon Fill/Clear External, (or U-Value: 2.9, SHGC: 0.456)
FIRST CL	S06	1400	780	1.09		Powdercoated Alum. Frame Skylight	Low-E Internal/Argon Fill/Clear External, (or U-Value: 2.9, SHGC: 0.456)
FIRST CL	S07	1400	780	1.09		Powdercoated Alum. Frame Skylight	Low-E Internal/Argon Fill/Clear External, (or U-Value: 2.9, SHGC: 0.456)
FIRST CL	S08	1400	780	1.09		Powdercoated Alum. Frame Skylight	Low-E Internal/Argon Fill/Clear External, (or U-Value: 2.9, SHGC: 0.456)
FIRST CL	S09	1400	780	1.09		Powdercoated Alum. Frame Skylight	Low-E Internal/Argon Fill/Clear External, (or U-Value: 2.9, SHGC: 0.456)

A

ISSUE

DEVELOPMENT APPLICATION

AMENDMENTS

08/05/2025

DATE

M.K

DRN

EJS, RO

CHK

CLIENT

MR & MRS FAZIL

ADDRESS

26 JACARANDA DRIVE,
GEORGES HALL

PROJECT

PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS

DEVELOPMENT APPLICATION

DRAWING TITLE

WINDOW SCHEDULE

SHEET NO: 16

SCALE: @A3

DESIGN: M.K

ISSUE: A

JOB NO: 888-1766

DRAWN: M.K

CHECKED BY: EJS, RO

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Principal Design Practitioner: PDP0000407

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PRINT DATE: 27/05/2025 11:56:14 AM A3

DOOR SCHEDULE						
Level	Mark	Height	Width	Door Area	Description	Basix Requirements
BASEMENT FL	B01	2200	5000	11.00	Select Alum. Sectional Overhead Garage Door	N/A
BASEMENT FL	B02	2100	820	1.72	Timber Solid Core Internal Single Swing Door	N/A
BASEMENT FL	B03	2100	820	1.72	Timber Solid Core Internal Single Swing Door	N/A
GROUND FL	G01	4000	1740	6.96	ALUMINIUM FRAME - SWING DOOR	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G02	2400	840	2.02	ALUMINIUM FRAME - SWING DOOR	Standard Aluminium, Single Pyrolytic Low-E (U-Value: 5.7, SHGC: 0.47)
GROUND FL	G03	2700	5000	13.50	ALUMINIUM FRAME - CORNER SLIDING DOOR	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
GROUND FL	G04	2400	1200 x3330	2.88	2 Panel Sliding Wardrobe Doors w/ Select Finish	N/A
GROUND FL	G05	2400	720	1.73	Timber Hollow Core Cavity Sliding Door	N/A
GROUND FL	G06	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
GROUND FL	G07	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
GROUND FL	G08	2400	1200	2.88	2 Panel Sliding Wardrobe Doors w/ Select Finish	N/A
GROUND FL	G09	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
GROUND FL	G10	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
GROUND FL	G11	600	520	0.31	Timber Solid Core Internal Single Swing Door	N/A
GROUND FL	G12	2400	820	1.97	Timber Hollow Core Cavity Sliding Door	N/A
GROUND FL	G13	2400	720	1.73	Timber Hollow Core Cavity Sliding Door	N/A
GROUND FL	G14	2400	720	1.73	ALUMINIUM FRAME - SWING DOOR	N/A
GROUND FL	G15	2400	840	2.02	ALUMINIUM FRAME - SWING DOOR	N/A
FIRST FL	F01	2400	3600	8.64	ALUMINIUM FRAME - SLIDING	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
FIRST FL	F02	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	F03	2400	720	1.73	Timber Hollow Core Cavity Sliding Door	N/A
FIRST FL	F04	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	F05	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	F06	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	F07	2400	820	1.97	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	F08	2400	720	1.73	Timber Hollow Core Cavity Sliding Door	N/A

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MR & MRS FAZIL

PROJECT

PROPOSED ALTERATIONS & ADDITIONS

DRAWING TITLE

DOOR SCHEDULE

ADDRESS

26 JACARANDA DRIVE,
GEORGES HALL

PROJECT STATUS

DEVELOPMENT APPLICATION

SHEET NO: 17

ISSUE: A

SCALE: @A3

JOB NO: 888-1766

DESIGN: M.K

DRAWN: M.K

CHECKED BY: EJS, RO

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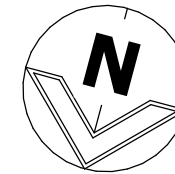
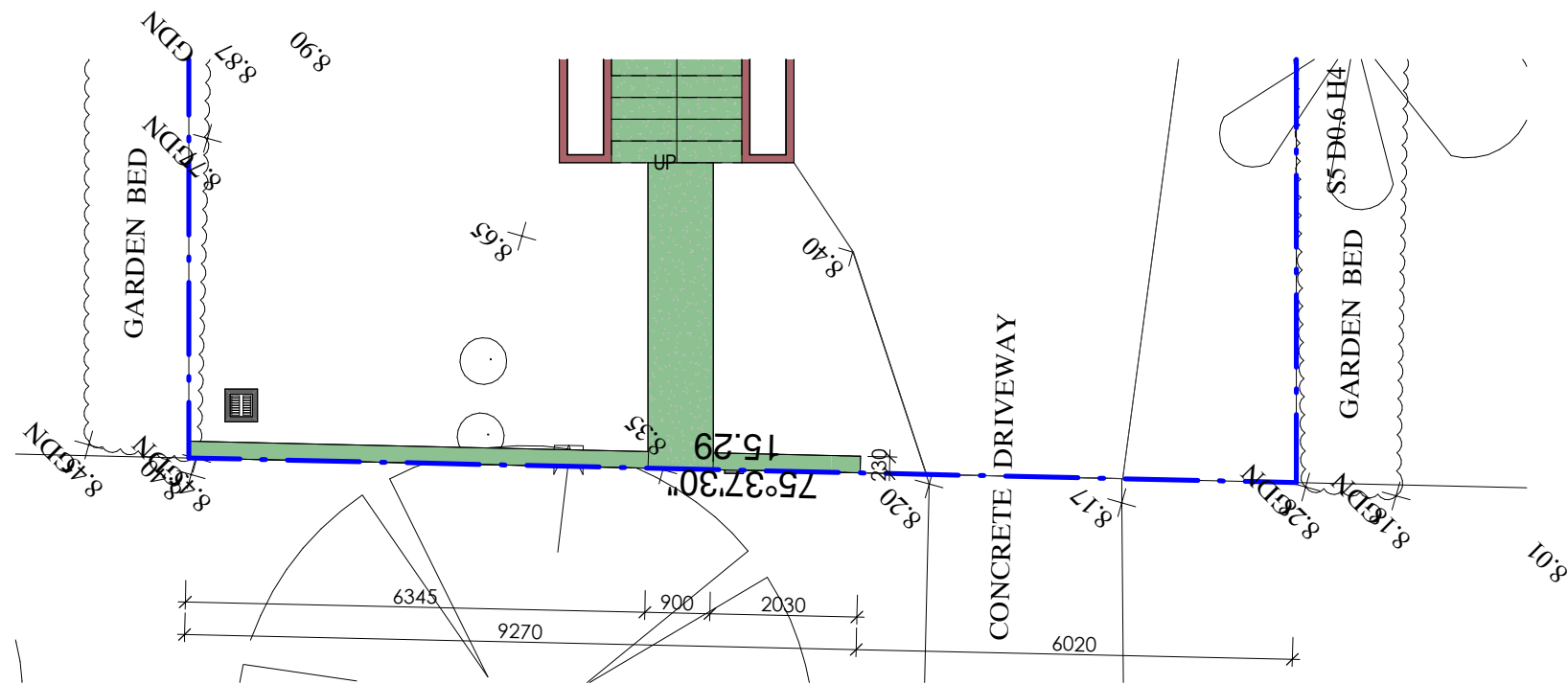
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Principal Design Practitioner: PDP0000407

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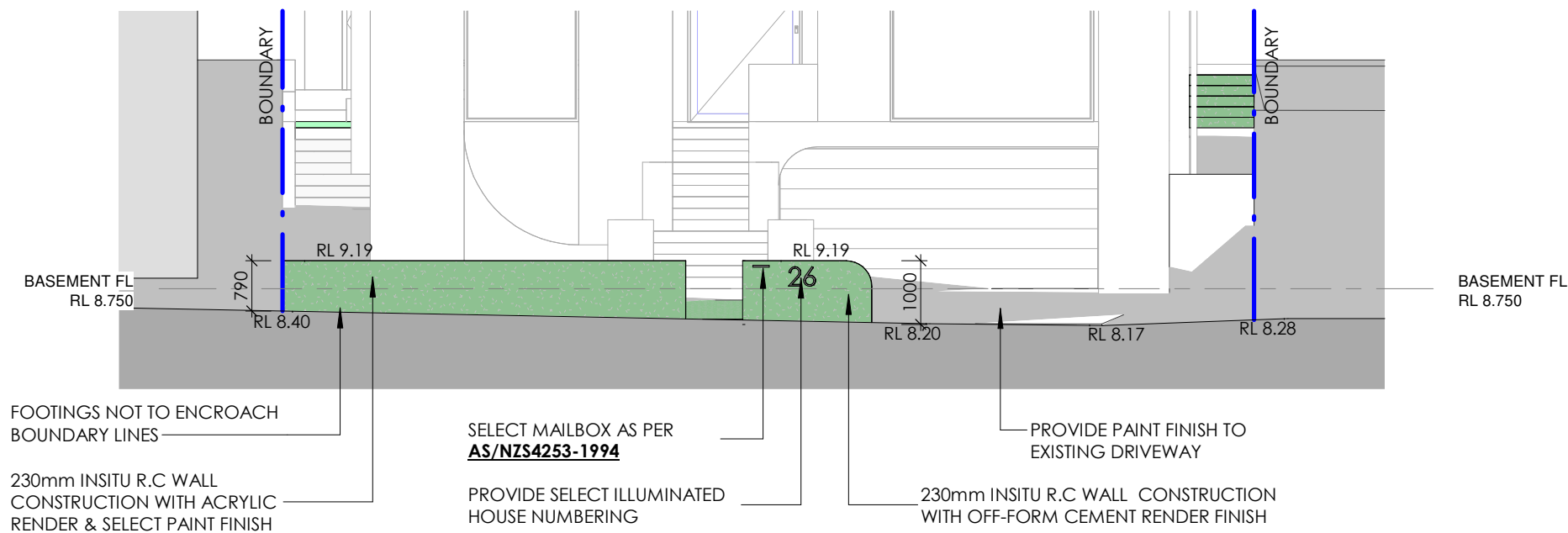
1

PROPOSED FRONT FENCE PLAN

1 : 100

GENERAL FENCE NOTES

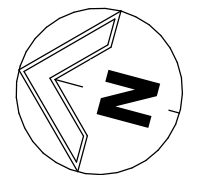
- R.C FOOTINGS & WALL TO ENGINEERS DETAILS
- FOOTINGS NOT TO ENCROACH BOUNDARY LINES
- SELECT MAIL BOX AS PER AS/NZS4253-1994
- PROVIDE SELECT ILLUMINATED HOUSE NUMBERING
- PROVIDE PAINT FINISH TO EXISTING CONCRETE DRIVEWAY



2

PROPOSED FRONT FENCE ELEVATION

1 : 100



A	DEVELOPMENT APPLICATION	08/05/2025	M.K	EJS, RO
ISSUE	AMENDMENTS	DATE	DRN	CHK

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MR & MRS FAZIL

ADDRESS
26 JACARANDA DRIVE,
GEORGES HALL

PROJECT
PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED FRONT FENCE

SHEET NO: 18 ISSUE: A
SCALE: 1 : 100@A3 JOB NO: 888-1766
DESIGN: M.K DRAWN: M.K CHECKED BY: EJS, RO

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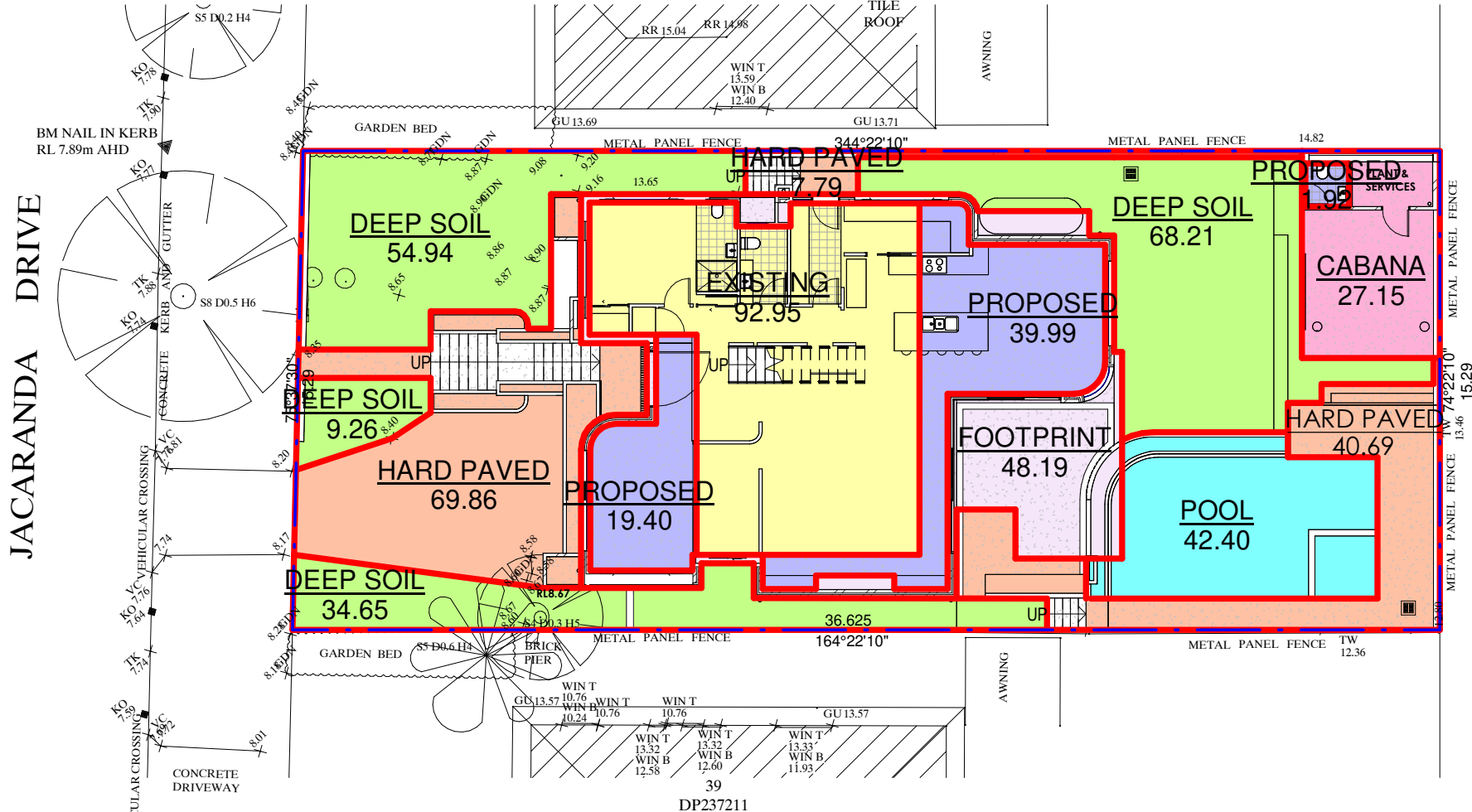
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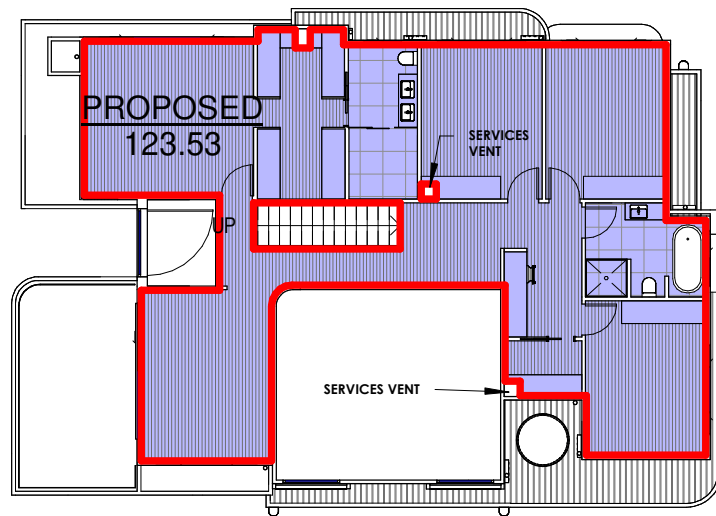
JACARANDA DRIVE



PROPOSED SITE & GROUND FLOOR CALCULATIONS PLAN

1

1 : 200



PROPOSED FIRST FLOOR AREA PLAN

2

1 : 200

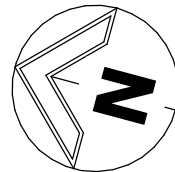
LEGEND

- CABANA
- DEEP SOIL
- EXISTING
- FOOTPRINT
- HARD PAVED
- POOL
- PROPOSED

SITE CALCULATIONS

ALTERATIONS & ADDITIONS

ZONE	R2
SITE AREA - BY TITLE	556.4m ²
SITE AREA - BY CALCULATION	557.4m ²
FLOOR AREA	
EXISTING GROUND FLOOR AREA	94.25m ²
EXISTING GROUND FLOOR TO REMAIN	92.95m ²
PROPOSED GROUND FLOOR	59.39m ²
PROPOSED CABANA WC	1.94m ²
PROPOSED FIRST FLOOR	123.53m ²
TOTAL PROPOSED AREA	277.81m ²
TOTAL FSR	0.5:1 RATIO
MAX PERMISSIBLE	0.5:1 RATIO
SITE COVERAGE - BY SITE CALCULATION	
PROPOSED DWELLING FOOTPRINT	200.53m ²
CABANA FOOTPRINT	29.07m ²
TOTAL DWELLING & CABANA FOOTPRINT	41.24%
POOL	42.40m ²
DEEP SOIL AREA	167.06m ²
DEEP SOIL %	29.97%
HARD PAVED	118.34m ²



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26 JACARANDA DRIVE,
GEORGES HALL

PROJECT
PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED AREA CALCULATION PLANS

SHEET NO: 19 ISSUE: A
SCALE: 1 : 200@A3 JOB NO: 888-1766
DESIGN: M.K. DRAWN: M.K. CHECKED BY: EJS, RO

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Principal Design Practitioner: PDP0000407

SITE CALCULATIONS

ALTERATIONS & ADDITIONS

ZONE	R2
SITE AREA - BY TITLE	556.4m²
SITE AREA - BY CALCULATION	557.4m²
FLOOR AREA	
EXISTING GROUND FLOOR AREA	94.25m²
EXISTING GROUND FLOOR TO REMAIN	92.95m²
PROPOSED GROUND FLOOR	59.39m²
PROPOSED CABANA WC	1.94m²
PROPOSED FIRST FLOOR	123.53m²
TOTAL PROPOSED AREA	277.81m²
TOTAL FSR	0.5:1 RATIO
MAX PERMISSIBLE	0.5:1 RATIO
SITE COVERAGE - BY SITE CALCULATION	
PROPOSED DWELLING FOOTPRINT	200.53m²
CABANA FOOTPRINT	29.07m²
TOTAL DWELLING & CABANA FOOTPRINT	41.24%
POOL	42.40m²
DEEP SOIL AREA	167.06m²
DEEP SOIL %	29.97%
HARD PAVED	118.34m²

LEGEND

- CABANA
- DEEP SOIL
- DWELLING
- HARD PAVED
- POOL

GENERAL LANDSCAPE NOTES

INITIAL PREPARATION

Verify all dimensions and levels on site prior to commencement of works. Do not scale from drawings. Locate all underground and above services and ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed garden areas to manufacturers directions. Remove existing concrete, pathways, footings, walls etc. as per demolition plan. Not notated to be retained and weeds to be removed from site. Rotary hoeall proposed lawn and garden areas incorporating minimum 100mm depth of organic clay breaker. Excavate or fill with approved top soil to gain required shapes and levels. All level and surface drainage shall be breaker. All level and surface drainage shall be determined by others and approved on site by head contractor.

PLANTING

Purchase plants from an approved nursery. Plants to be healthy and true to type and species. Set out plants to positions indicated on plan. Plant and fertilise to horticultural standards. Water plants immediately after planting. Stake all trees using 2x25mmx25mmx2000mm long hardwood stakes per plant and with hessian webbing ties. Climbers shall be trained on approved wire trellis. Planting stock to comply with AS2303-2015. Planting to be carried out by a qulified horticulturist or arborist with a min. Certificate 3 qualification.

MULCHING

Install 75mm depth of 25mm diameter pine bark mulch to all areas, coving mulch down around all plant stems and to finish flush with adjacent finishes.

RETAINING WALLS

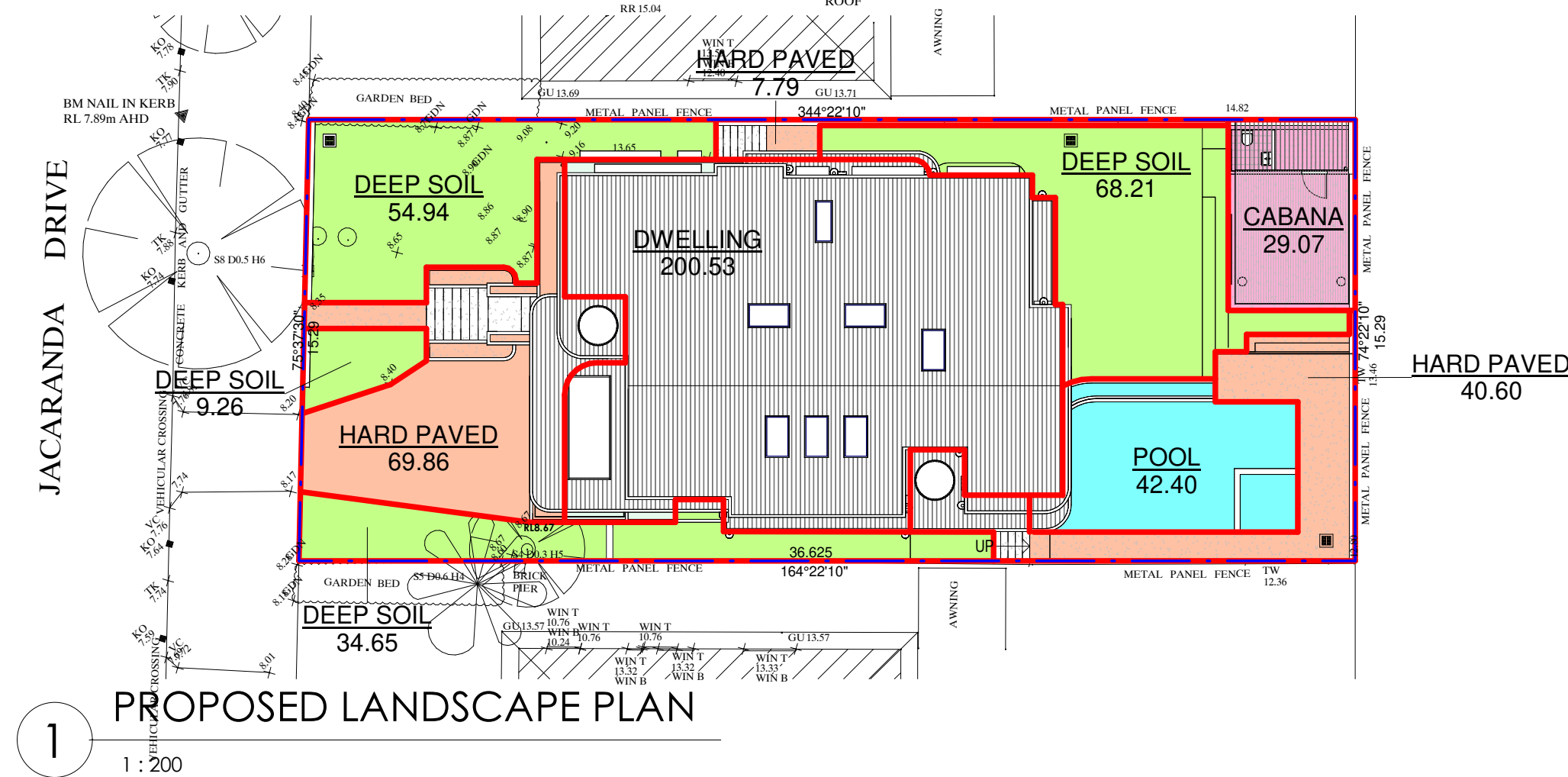
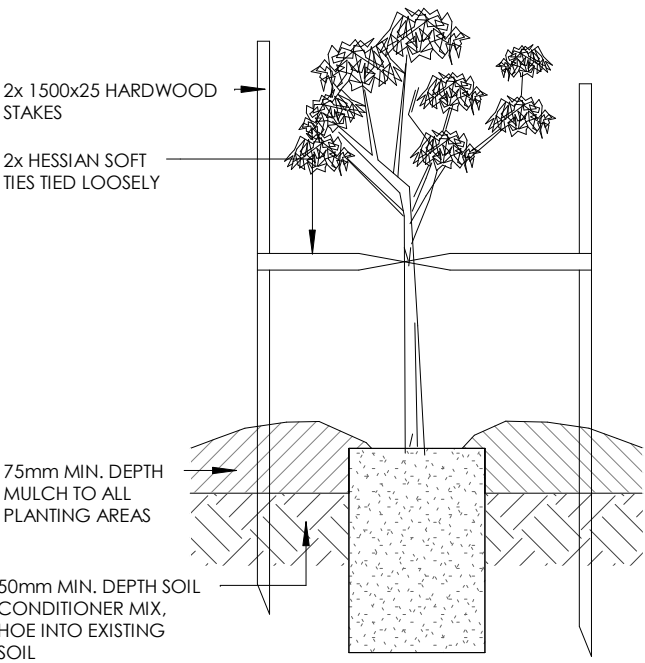
Line of retaining wall shall be determined by others and constructed to engineering details. Suitable surface drainage lines shall be installed behind all retaining walls and be connected into stormwater drainage system.

COMPLETION

Prior to practical completion, remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Council's landscape code and guidelines.

MAINTENANCE PERIOD

A twelve month maintenance period shall be undertaken and shall include, but not be limited to, weeding, mowing, fertilizing and watering plants. Lawn to maintain optimum growing conditions.



A

ISSUE

DEVELOPMENT APPLICATION

AMENDMENTS

08/05/2025

DATE

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MR & MRS FAZIL

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26 JACARANDA DRIVE,
GEORGES HALL

PROJECT

PROPOSED ALTERATIONS & ADDITIONS

PROJECT STATUS

DEVELOPMENT APPLICATION

DRAWING TITLE

PROPOSED LANDSCAPE PLAN

SHEET NO:

20

ISSUE:

A

SCALE:

As indicated@A3

JOB NO:

888-1766

DESIGN:

M.K

DRAWN:

M.K

CHECKED BY:

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Principal Design Practitioner: PDP0000407

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PRINT DATE: 27/05/2025 11:56:17 AM A3



A	DEVELOPMENT APPLICATION	08/05/2025	M.K	EJS, RO
ISSUE	AMENDMENTS	DATE	DRN	CHK

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GEORGES HALL

PROJECT
PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED SITE ANALYSIS PLAN

SHEET NO: 21
SCALE: 1 : 200@A3
DESIGN: M.K
ISSUE: A
JOB NO: 888-1766
DRAWN: M.K
CHECKED BY: EJS, RO

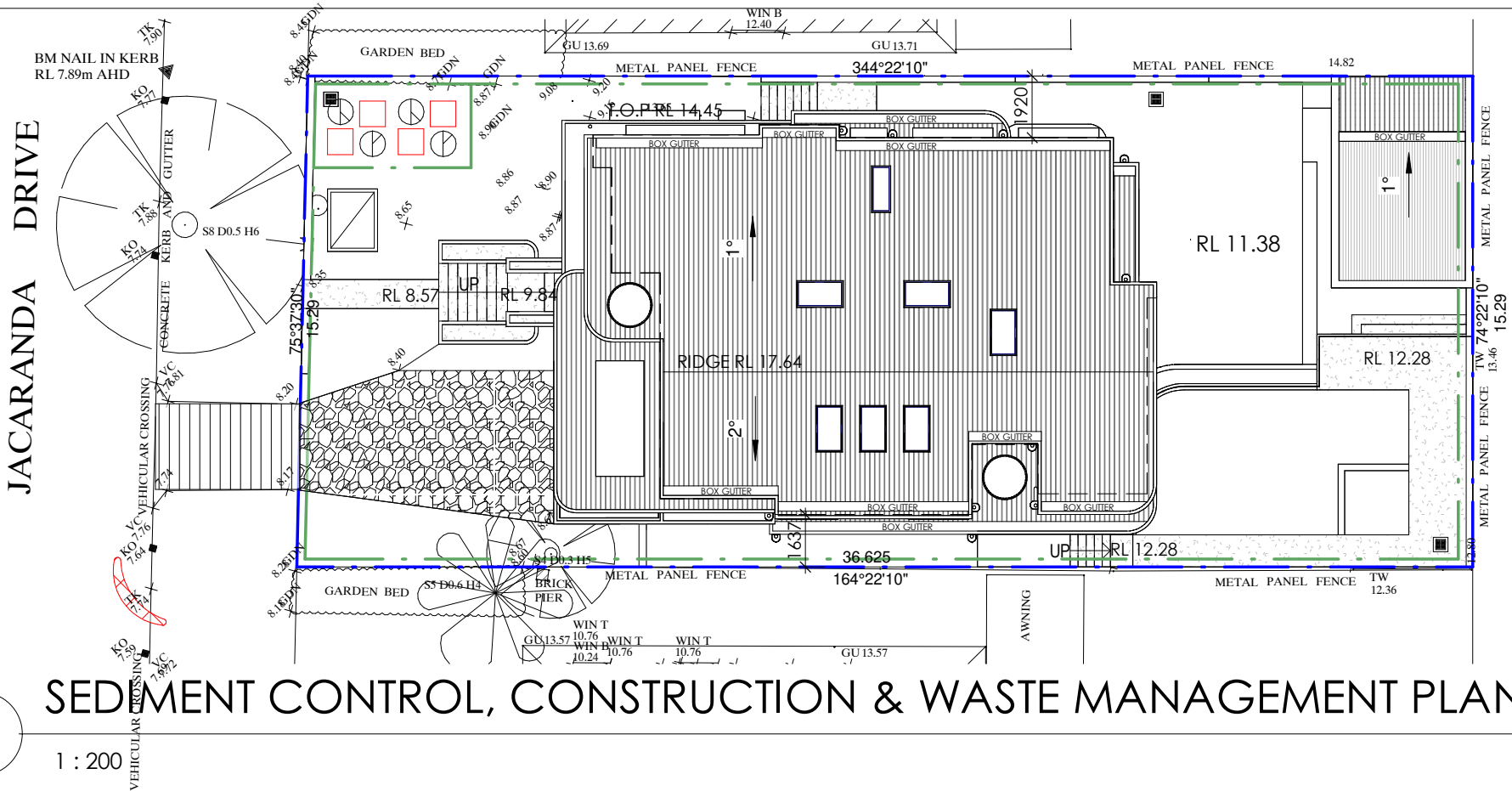


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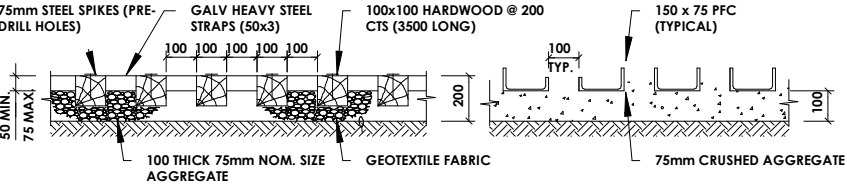
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2 SEDIMENT CONTROL, CONSTRUCTION & WASTE MANAGEMENT PLAN

SEDIMENT CONTROL NOTES

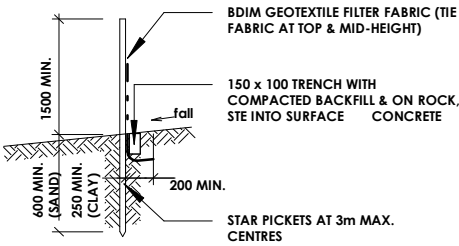


TYPICAL SHAKEDOWN SECTION

THIS DEVICE IS TO BE REGULARLY CLEANED OF DEPOSITED MATERIAL SO AS TO MAINTAIN A 50mm DEEP SPACE BETWEEN PLANKS.

ALTERNATIVE SECTION

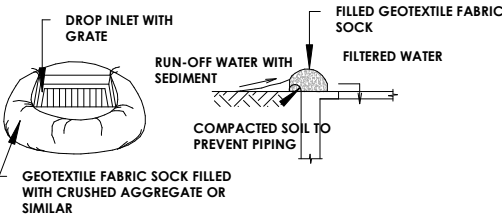
GRID MADE FROM FULLY WELDED 150x75 PFC PERIMETER FRAME WITH 150x75 PFC SPACED AT 100mm. LAID ON 100mm THICK BED OF CRUSHED AGGREGATE.



TEMP. SEDIMENT CONTROL FENCE

1. PROVIDE SEDIMENT CONTROL FENCE AT STORMWATER OUTLETS AND DOWNSTREAM BOUNDARIES UNTIL LANDSCAPING, PAVING & TURFING IS COMPLETED.
2. MINIMISE BARE EARTH AND DISTURBED AREAS. ALL BARE SOIL AREAS ARE TO BE PROTECTED FROM EROSION BY TEMPORARY MEASURES AND REVEGETATED AT CESSATION OF CONSTRUCTION.
3. RETURN OR PROTECT AS SOON AS PRACTICABLE.
4. COVER ALL SOIL MOUNDS.
5. PROVIDE LARGE COARSE AGGREGATE SURFACE (100 MIN. DEEP) TO ENTRY AND EXIT AREAS WITH GEOTEXTILE FILTER UNDERLAY.
6. SATISFACTORILY COMPACT ALL BACKFILL.
7. LOCATE ALL DEBRIS IN CATCH AREA BEHIND SEDIMENT FENCE.
8. REGULARLY CHECK AND MAINTAIN ALL SEDIMENT FEATURES.

TEMP. DROP INLET SEDIMENT TRAP



ALL EROSION PROTECTION MEASURES TO MEET THE REQUIREMENTS OF COUNCIL & DEPT. OF CONSERVATION AND LAND MANAGEMENT.

SEDIMENT CONTROL DEVICES

FILTER DAMS ARE TO BE CONSTRUCTED AT ALL DRAINAGE OUTLETS WITHIN THE SITE. THESE DAMS SHALL BE CONSTRUCTED AS DETAILED IN THE APPROVED DRAWINGS. SILT FENCES SHALL BE CONSTRUCTED AS DETAILED IN THE APPROVED DRAWINGS AROUND ALL DISTURBED AREAS, STOCKPILES AND AS DIRECTED BY THE ENGINEER.

MATERIALS

MATERIALS AND WORKMANSHIP SHALL BE TO THE ENGINEER'S SATISFACTION AND UNLESS OTHERWISE SPECIFIED SHALL CONFORM TO SUCH STANDARD SPECIFICATIONS ISSUED BY THE STANDARDS ASSOCIATION OF AUSTRALIA AS APPLICABLE.

ROCK BREAKERS / HAMMERS

THE USE OF ANY PNEUMATIC BREAKING OR HAMMERING DEVICE IS NOT PERMITTED FOR THE EXCAVATION OF BEDROCK MATERIAL WITHIN 10 METRES OF EXISTING DWELLINGS OR STRUCTURES.

TRANSPORTATION OF MATERIALS

TRANSPORTATION OF MATERIALS AND OF EARTH, SAND, ROAD CONSTRUCTION MATERIAL, LOOSE DEBRIS AND ANY LOOSE MATERIALS TO OR FROM THE SITE WILL BE IN A MANNER THAT WILL PREVENT THE DROPPING OF MATERIAL ON THE SURROUNDING STREETS. LOAD COVERS ARE TO BE USED AT ALL TIMES.

SURVEY MARKS

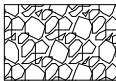
EARTHWORKS & CLEARING

ADEQUATE PRECAUTIONS ARE TO BE TAKEN TO PROTECT AND PRESERVE ANY SURVEY MARK RELATIVE TO OR AFFECTED BY THE DEVELOPMENT. DURING THE CLEARING, CARE SHALL BE TAKEN NOT TO DISTURB ANY BENCHMARK, SURVEY OR LEVEL PEG. TOPSOIL IS TO BE REMOVED FROM THE WORKS AREA, STOCKPILED AND REPLACED UPON THE DISTURBED AREAS AT THE COMPLETION OF CONSTRUCTION.

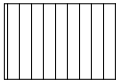
VEGETATION PROTECTION

PRIOR TO AND DURING ANY CONSTRUCTION WORKS THE ROOTS, TRUNKS AND BRANCHES OF ALL VEGETATION TO BE RETAINED SHALL BE PROTECTED FROM POLLUTANTS, MACHINERY, CHEMICAL AND FUEL SPILLAGE, COMPACTION OF SURROUNDING SOILS, LEVEL CHANGES WITHIN THE DRIP LINE, STOCKPILING OF SPOIL, AND STOCKPILING OF BUILDING MATERIALS. PROTECTIVE FENCING OF SUCH VEGETATION SHALL BE UNDERTAKEN AS NECESSARY. VEGETATION TO BE LEFT UNDISTURBED OUTSIDE THE APPROVED WORKS AREA.

LEGEND



GRAVEL ACCESS



HARDWOOD CROSSING PROTECTION

SITE BOUNDARY

SITE SILT FENCE



STOCK PILES



GEOTEXTILE FABRIC FILLED WITH GRAVEL



SKIP BINS

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PROJECT
PROPOSED ALTERATIONS & ADDITIONS

DRAWING TITLE
SEDIMENT CONTROL, CONSTRUCTION AND WASTE MANAGEMENT PLAN

SHEET NO: 22 ISSUE: A

SCALE: 1 : 200@A3 JOB NO: 888-1766

DESIGN: M.K. DRAWN: M.K. CHECKED BY: EJS, RO

ADDRESS
26 JACARANDA DRIVE,
GEORGES HALL

PROJECT STATUS
DEVELOPMENT APPLICATION

A	DEVELOPMENT APPLICATION	08/05/2025	M.K	EJS, RO
ISSUE	AMENDMENTS	DATE	DRN	CHK

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Principal Design Practitioner: PDP0000407

BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1794028_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 08 May 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.

Project address	
Project name	26 JACARANDA DR_02
Street address	26 JACARANDA Drive GEORGES HALL 2198
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan DP237211
Lot number	38
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Building & Energy Consultants Australia	
ABN (if applicable): 92122407783	

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 6343.75 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 49.5 kilolitres.
The applicant must install a pool pump timer for the swimming pool.
The applicant must not incorporate any heating system for the swimming pool that is part of this development.
Outdoor spa
The spa must not have a capacity greater than 4.8 kilolitres.
The spa must have a spa cover.
The applicant must install a spa pump timer.

Pool and Spa
The applicant must install the following heating system for the outdoor spa that is part of this development: electric resistance.

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	N/A
suspended floor above garage: concrete (R0.6).	nil	N/A
external wall: cavity brick	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R3.00 (up), roof: none	light (solar absorptance < 0.475)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S03	0.77	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)
S04	1.09	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)
S05	1.09	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)
S06	1.09	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)
S07-S09	3.27	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)

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M.K

DRN

EJS, RO

CHK

CLIENT

MR & MRS FAZIL

ADDRESS

26 JACARANDA DRIVE,
GEORGES HALL

PROJECT

PROPOSED ALTERATIONS & ADDITIONS

PROJECT STATUS

DEVELOPMENT APPLICATION

DRAWING TITLE

BASIX 1

SHEET NO:

23

ISSUE:

A

SCALE:

@A3

JOB NO:

888-1766

DESIGN:

M.K

DRAWN:

M.K

CHECKED BY:

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PRINT DATE: 27/05/2025 11:56:18 AM A3

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
WG01	N	8.64	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DG01	N	6.96	0	0	projection/ height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG02	N	4.86	0	0	projection/ height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
WG03	E	1.62	0.51	2.1	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG04	E	0.88	1.11	2.1	projection/ height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
WG06	E	0.72	1.11	2.1	projection/ height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DG02	E	2.02	2.31	2.1	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
WG07	E	1.8	0	0	projection/ height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
WG08	S	7.29	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG09	S	3.43	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
DG03	W	8.99	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DG03	S	13.5	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG10	W	1.8	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG11	W	1.62	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DF01	N	8.64	0	0	projection/ height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
WF01	N	2.52	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WF02	W	2.7	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WF02	N	8.85	0	0	projection/ height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
WF03	E	2.16	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WF04	E	1.26	0	0	projection/ height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
WF05	E	2.88	0	0	projection/ height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
WF06	E	2.88	0	0	projection/ height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
WF07	S	0.9	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WF08	S	2.88	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WF09	W	3.15	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
WF10	W	3.15	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WF11	W	1.62	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2G05	E	0.88	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

A

ISSUE

DEVELOPMENT APPLICATION

AMENDMENTS

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ADDRESS

26 JACARANDA DRIVE,
GEORGES HALL

PROJECT

PROPOSED ALTERATIONS & ADDITIONS

PROJECT STATUS

DEVELOPMENT APPLICATION

DRAWING TITLE

BASIX 2

SHEET NO:

24

ISSUE:

A

SCALE:

@A3

JOB NO:

888-1766

DESIGN:

M.K

DRAWN:

M.K

CHECKED BY:

EJS, RO

DS407

DESIGN STUDIO

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Master Builders Association



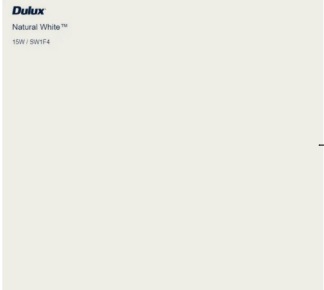
Member Australian Institute of Architects

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Contractor(s) to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Rodolfo O'Laco: Nominated Architect NSW A.R.B. 6520.
Principal Design Practitioner: PDP0000407



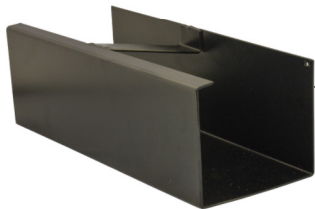
CHARCOAL KLIPLOK ROOF SHEETING



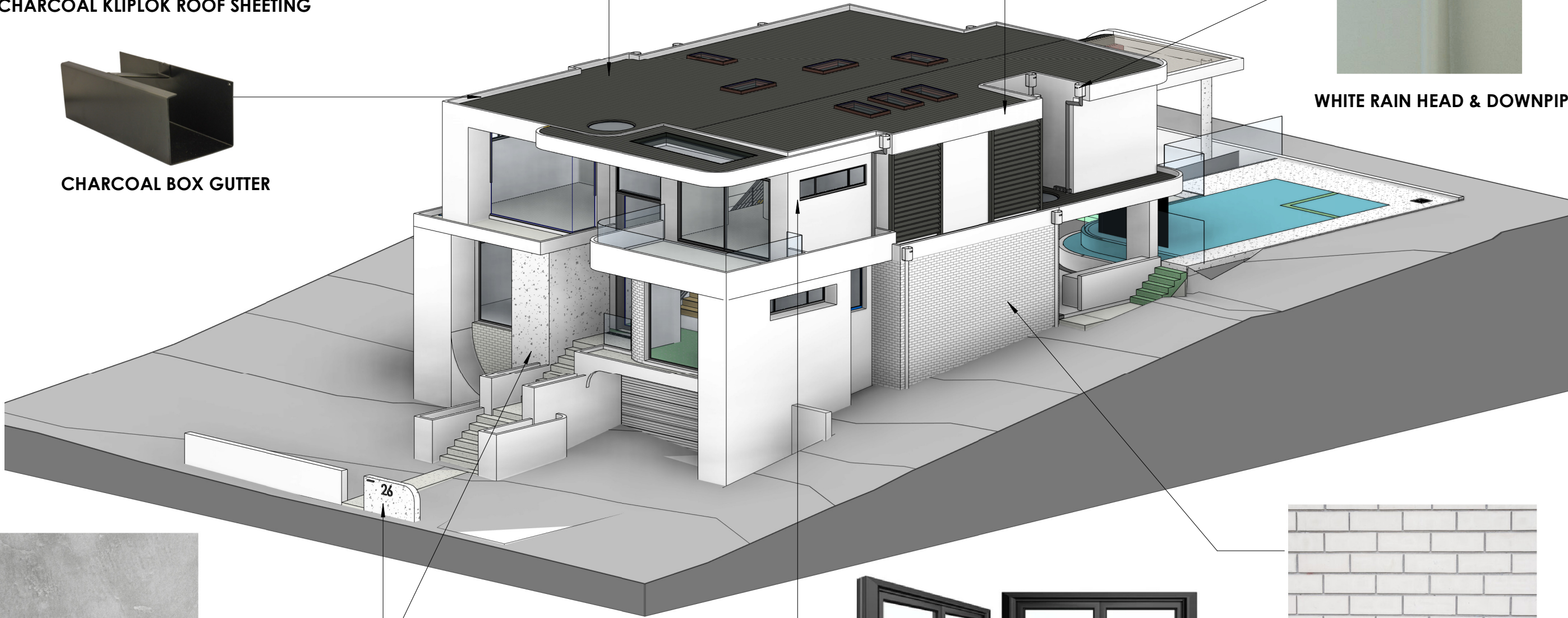
WHITE DULUX PAINT



WHITE RAIN HEAD & DOWNPIPE



CHARCOAL BOX GUTTER



OFF FORM CONCRETE RENDER FINISH



BLACK WINDOW FRAMES



WHITE BRICK & WHITE MORTAR

A		DEVELOPMENT APPLICATION	08/05/2025	M.K	EJS, RO
ISSUE		AMENDMENTS	DATE	DRN	CHK

CLIENT
MR & MRS FAZIL

ADDRESS
26 JACARANDA DRIVE,
GEORGES HALL

PROJECT
PROPOSED ALTERATIONS &
ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
FINISHES SCHEDULE

SHEET NO:	25	ISSUE:	A
SCALE:	@A3	JOB NO:	888-1766
DESIGN:	M.K	DRAWN:	M.K
		CHECKED BY:	EJS, RO

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